

Drain: ASHHURST PARK DRAIN **Drain #:** 328
Improvement/Arm: SPRINGBORNS-SECTION 3
Operator: JDH **Date:** 5-21-04
Drain Classification: Urban/Rural **Year Installed:** 1999

GIS Drain Input Checklist

- Pull Source Documents for Scanning JDH
- Digitize & Attribute Tile Drains N/A
- Digitize & Attribute Storm Drains JDH
- Digitize & Attribute SSD JDH
- Digitize & Attribute Open Ditch N/A
- Stamp Plans JDH
- Sum drain lengths & Validate JDH
- Enter Improvements into Posse JDH
- Enter Drain Age into Posse JDH
- Sum drain length for Watershed in Posse JDH
- Check Database entries for errors JDH

Gasb 34 Footages for Historical Cost Drain Length Log

Drain-Improvement: ASHLEY PARK DRAIN - SECTION 3

Drain Type:	Size:	Length <i>SURVEYED LENGTH</i>	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
RCP	24"	97'	97'	Ø	18.00	1,746.00

Sum: 97' 97' Ø 1,746.00

Final Report: _____

Comments:

**Gasb 34 Footages for Historical Cost
Drain Length Log**

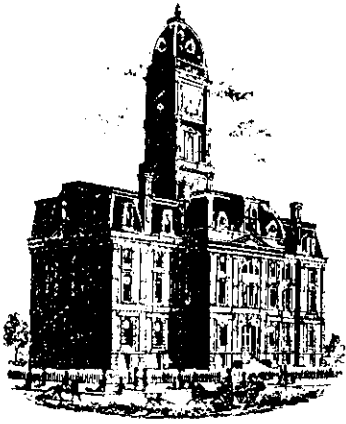
Drain-Improvement: ASHGROVE PARK DRAIN - SPRING FARMS - SECTION 3

Drain Type:	Size:	Length <i>Surveyed Return</i>	Length (DB Query)	Length Reconcile	If Applicable	
					Price:	Cost:
<i>SSD</i>	<i>6"</i>	<i>1,546</i>	<i>1,546</i>	<i>Ø</i>		
<i>RCP</i>	<i>12"</i>	<i>949'</i>	<i>949'</i>	<i>Ø</i>		
	<i>15"</i>	<i>235'</i>	<i>235'</i>	<i>Ø</i>		
	<i>18"</i>	<i>146'</i>	<i>146'</i>	<i>Ø</i>		
	<i>21"</i>	<i>449'</i>	<i>449'</i>	<i>Ø</i>		
	<i>24"</i>	<i>452'</i>	<i>452'</i>	<i>Ø</i>		

Sum: *3,777'* *3,777'* *Ø*

Final Report: _____

Comments:



SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 146

One Hamilton County Square

Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

August 14, 2000

Re: Ashbury Park Drain, Spring Farms, Section 3 Arm

Attached is a petition, non-enforcement request, plans, calculations, quantity summary and assessment roll for the Spring Farms, Section 3 Arm, Ashbury Park Drain. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable; will improve the public health; benefit a public highway and be of public utility; and that the costs, damages, and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

6"	SSD	1,666 ft	18"	RCP	149 ft
12"	RCP	944 ft	21"	RCP	447 ft
15"	RCP	234 ft	24"	RCP	452 ft

The total length of the drain will be 3,892 feet.

The retention pond (lake) located on Lots 107 and 108 is to be considered part of the regulated drain. The maintenance of the pond (lake) will be the responsibility of the Drainage Board, but will not include mowing, weed control or pest control. The Board will, however, retain jurisdiction for ensuring the storage volume for which the lake was designed will be retained. Thereby, allowing no fill or easement encroachments.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs. Only the main SSD lines which are located within the right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per lot, \$10.00 per acre for roadways, \$5.00 per acre for common areas, with a \$65.00 minimum. With this assessment the total annual assessment for this drain/this section will be \$1,197.00.

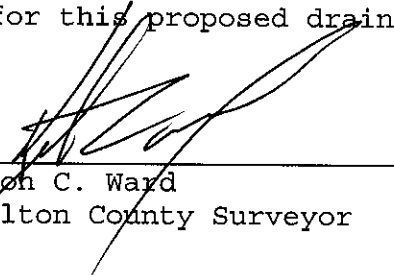
Parcels assessed for this drain may be assessed for the Collins-Osborn or Williams Creek Drain at sometime in the future. Parcels assessed for this drain will also be assessed for the O. F. Henley Drain.

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. This request is for the reduction of the regulated drain easement to those widths as shown on the secondary plat for Spring Farms, Section 3 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for September 25, 2000.

KCW/kkw



Kenton C. Ward
Hamilton County Surveyor

**SUBDIVISION IMPROVEMENTS
PERFORMANCE BOND**



BOND NO: 885133S

KNOW ALL MEN BY THESE PRESENTS:

THAT we, PITTMAN PARTNERS, INC. as Principal,
and DEVELOPERS SURETY AND INDEMNITY COMPANY, a corporation organized and doing
business and under and by virtue of the laws of the State of Iowa and duly licensed to conduct surety
business in the State of Indiana, as Surety, are held and firmly bound unto

BOARD OF COMMISSIONERS, HAMILTON COUNTY
One Hamilton Square
Noblesville, Indiana 46060

as Obligee, in the sum of Sixty nine Thousand, five hundred sixty Dollars,
(\$69,560.00) for which payment, well and truly to be made, we bind ourselves, our heirs, executors and
successors, jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

WHEREAS, the above named Principal, has agreed to construct in Spring Farms, Section #3
Subdivision, City of Carmel, Indiana
the
following improvements: Storm Sewer and Sub Surface Drains

NOW, THEREFORE, the condition of this obligation is such, that if the above Principal shall well and
truly perform said agreement or agreements during the original term thereof or of any extension of said
term that may be granted by the Obligee with or without notice to the Surety, this obligation shall be void,
otherwise it shall remain in full force and effect.

IN WITNESS WHEREOF, the seal and signature of said Principal is hereto affixed and the corporate seal
and the name of the said Surety is hereto affixed and attested by its duly authorized Attorney-in-Fact, this
24th Day of September 1999.

**BOARD OF COMMISSIONERS
OF THE COUNTY OF HAMILTON**

DATE _____

Pittman Partners, Inc.
Principal
BY: [Signature]
Steve Pittman, President

DEVELOPERS SURETY AND INDEMNITY COMPANY

BY: [Signature]
Howard E. McConnell Attorney-in-Fact

POWER OF ATTORNEY OF
DEVELOPERS SURETY AND INDEMNITY COMPANY
West Bank Plaza Building, 1603 22nd Street, Suite 200
West Des Moines, IA 50266 (515) 267-9070

Nº 009521

- NOTICE:
1. All power and authority herein granted shall in any event terminate on the 31st day of March, 2002.
 2. This Power of Attorney is void if altered or if any portion is erased.
 3. This Power of Attorney is void unless the seal is readable, the text is in brown ink, the signatures are in blue ink and this notice is in blue ink.
 4. This Power of Attorney should not be returned to the Attorney(s)-In-Fact, but should remain a permanent part of the obligee's records.

KNOW ALL MEN BY THESE PRESENTS, that except as expressly limited, **DEVELOPERS SURETY AND INDEMNITY COMPANY**, do each severally, but not jointly, hereby make, constitute and appoint

HOWARD E. McCONNELL

the true and lawful Attorney(s)-In-Fact, to make, execute, deliver and acknowledge, for and on behalf of said corporations as sureties, bonds, undertakings and contracts of suretyship in an amount not exceeding Ten Million Dollars (\$10,000,000) in any single undertaking; giving and granting unto said Attorney(s)-In-Fact full power and authority to do and to perform every act necessary, requisite or proper to be done in connection therewith as each of said corporations could do, but reserving to each of said corporations full power of substitution and revocation; and all of the acts of said Attorney(s)-In-Fact, pursuant to these presents, are hereby ratified and confirmed.

This Power of Attorney is granted and is signed by facsimile under and by authority of the following resolutions adopted by the respective Board of Directors of **DEVELOPERS SURETY AND INDEMNITY COMPANY**, effective as of September 24, 1986:

RESOLVED, that the Chairman of the Board, the President and any Vice President of the corporations be, and that each of them hereby is, authorized to execute Powers of Attorney, qualifying the attorney(s) named in the Powers of Attorney to execute, on behalf of the corporations, bonds, undertakings and contracts of suretyship; and that the Secretary or any Assistant Secretary of the corporations be, and each of them hereby is, authorized to attest the execution of any such Power of Attorney;

RESOLVED, FURTHER, that the signatures of such officers may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures shall be valid and binding upon the corporation when so affixed and in the future with respect to any bond, undertaking or contract of suretyship to which it is attached.

IN WITNESS WHEREOF, **DEVELOPERS SURETY AND INDEMNITY COMPANY** have severally caused these presents to be signed by their respective Presidents and attested by their respective Secretaries this 22nd day of December, 1998.

DEVELOPERS SURETY AND INDEMNITY COMPANY

ATTEST

By *Dante F. Vincenti, Jr.*
Dante F. Vincenti, Jr.
President

By *Walter Crowell*
Walter Crowell
Secretary

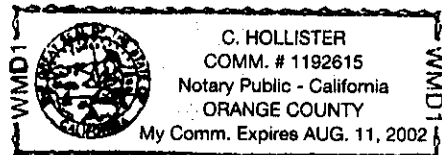


STATE OF CALIFORNIA)
) SS.
COUNTY OF ORANGE)

On December 22, 1998, before me, C. Hollister, personally appeared Dante F. Vincenti, Jr. and Walter Crowell, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature *C. Hollister*



CERTIFICATE

The undersigned, as Senior Vice President of **DEVELOPERS SURETY AND INDEMNITY COMPANY**, does hereby certify that the foregoing and attached Power of Attorney remains in full force and has not been revoked; and furthermore, that the provisions of the resolutions of the respective Boards of Directors of said corporations set forth in the Power of Attorney, are in force as of the date of this Certificate.

This Certificate is executed in the City of Irvine, California, this _____ day of _____, _____.

DEVELOPERS SURETY AND INDEMNITY COMPANY

By *Lawrence G. Kepero*
Lawrence G. Kepero
Senior Vice President



ATTEST:

**SUBDIVISION IMPROVEMENTS
PERFORMANCE BOND**

HAMILTON COUNTY AUDITOR



BOND NO: 885134S

KNOW ALL MEN BY THESE PRESENTS:

THAT we, PITTMAN PARTNERS, INC. as Principal, and DEVELOPERS SURETY AND INDEMNITY COMPANY, a corporation organized and doing business and under and by virtue of the laws of the State of Iowa and duly licensed to conduct surety business in the State of Indiana, as Surety, are held and firmly bound unto

BOARD OF COMMISSIONERS, HAMILTON COUNTY
One Hamilton Square
Noblesville, Indiana 46060

as Obligee, in the sum of Three Thousand, seven hundred fifty four Dollars, (\$3,754.00) for which payment, well and truly to be made, we bind ourselves, our heirs, executors and successors, jointly and severally firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH THAT:

WHEREAS, the above named Principal, has agreed to construct in Spring Farms, Section #3 Subdivision, City of Carmel, Indiana the following improvements: Erosion Control

NOW, THEREFORE, the condition of this obligation is such, that if the above Principal shall well and truly perform said agreement or agreements during the original term thereof or of any extension of said term that may be granted by the Obligee with or without notice to the Surety, this obligation shall be void, otherwise it shall remain in full force and effect.

IN WITNESS WHEREOF, the seal and signature of said Principal is hereto affixed and the corporate seal and the name of the said Surety is hereto affixed and attested by its duly authorized Attorney-in-Fact, this 24th Day of September 1999.

**BOARD OF COMMISSIONERS
OF THE COUNTY OF HAMILTON**

Pittman Partners, Inc. Principal
Steve Pittman, President

DEVELOPERS SURETY AND INDEMNITY COMPANY
BY: Howard E. McConnell Attorney-in-Fact

POWER OF ATTORNEY OF
DEVELOPERS SURETY AND INDEMNITY COMPANY
West Bank Plaza Building, 1603 22nd Street, Suite 200
West Des Moines, IA 50266 (515) 267-9070

Nº 009520

- NOTICE:
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 2. This Power of Attorney is void if altered or if any portion is erased.
 3. This Power of Attorney is void unless the seal is readable, the text is in brown ink, the signatures are in blue ink and this notice is in blue ink.
 4. This Power of Attorney should not be returned to the Attorney(s)-In-Fact, but should remain a permanent part of the obligee's records.

KNOW ALL MEN BY THESE PRESENTS, that except as expressly limited, **DEVELOPERS SURETY AND INDEMNITY COMPANY**, do each severally, but not jointly, hereby make, constitute and appoint

HOWARD E. McCONNELL

the true and lawful Attorney(s)-In-Fact, to make, execute, deliver and acknowledge, for and on behalf of said corporations as sureties, bonds, undertakings and contracts of suretyship in an amount not exceeding Ten Million Dollars (\$10,000,000) in any single undertaking; giving and granting unto said Attorney(s)-In-Fact full power and authority to do and to perform every act necessary, requisite or proper to be done in connection therewith as each of said corporations could do, but reserving to each of said corporations full power of substitution and revocation; and all of the acts of said Attorney(s)-In-Fact, pursuant to these presents, are hereby ratified and confirmed.

This Power of Attorney is granted and is signed by facsimile under and by authority of the following resolutions adopted by the respective Board of Directors of **DEVELOPERS SURETY AND INDEMNITY COMPANY**, effective as of September 24, 1986:

RESOLVED, that the Chairman of the Board, the President and any Vice President of the corporations be, and that each of them hereby is, authorized to execute Powers of Attorney, qualifying the attorney(s) named in the Powers of Attorney to execute, on behalf of the corporations, bonds, undertakings and contracts of suretyship; and that the Secretary or any Assistant Secretary of the corporations be, and each of them hereby is, authorized to attest the execution of any such Power of Attorney;

RESOLVED, FURTHER, that the signatures of such officers may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures shall be valid and binding upon the corporation when so affixed and in the future with respect to any bond, undertaking or contract of suretyship to which it is attached.

IN WITNESS WHEREOF, **DEVELOPERS SURETY AND INDEMNITY COMPANY** have severally caused these presents to be signed by their respective Presidents and attested by their respective Secretaries this 22nd day of December, 1998.

DEVELOPERS SURETY AND INDEMNITY COMPANY

ATTEST

By *Dante F. Vincenti, Jr.*
Dante F. Vincenti, Jr.
President

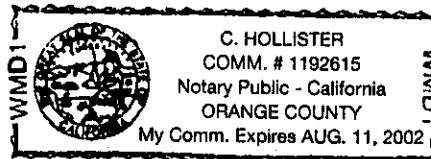
By *Walter Crowell*
Walter Crowell
Secretary



STATE OF CALIFORNIA)
) SS.
COUNTY OF ORANGE)

On December 22, 1998, before me, C. Hollister, personally appeared Dante F. Vincenti, Jr. and Walter Crowell, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
WITNESS my hand and official seal.

Signature *C. Hollister*



CERTIFICATE

The undersigned, as Senior Vice President of **DEVELOPERS SURETY AND INDEMNITY COMPANY**, does hereby certify that the foregoing and attached Power of Attorney remains in full force and has not been revoked; and furthermore, that the provisions of the resolutions of the respective Boards of Directors of said corporations set forth in the Power of Attorney, are in force as of the date of this Certificate.

This Certificate is executed in the City of Irvine, California, this _____ day of _____

DEVELOPERS SURETY AND INDEMNITY COMPANY

By *Lawrence G. Kepero*
Lawrence G. Kepero
Senior Vice President



CERTIFICATE OF COMPLETION AND COMPLIANCE

TO: HAMILTON COUNTY SURVEYOR

RE: Ashbury Park Section 1 and Spring Farms Section 3

I hereby certify that:

- 1.) I am a Registered Land Surveyor in the State of Indiana,
- 2.) I am familiar with the plans and specifications for the above referenced subdivision,
- 3.) I have personally observed and supervised the completion of the Drainage Facilities for the above referenced subdivision, and
- 4.) To the best of my knowledge, information and belief, the Drainage Facilities within the subdivision has been installed and completed in conformity with all plans and specifications.

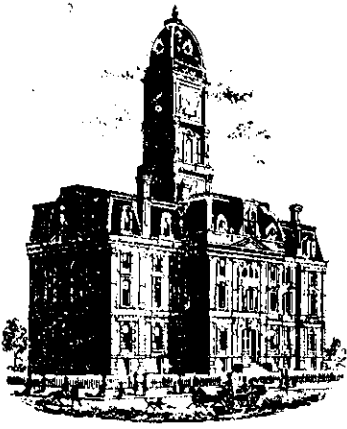
Signature: Bruce Hagen Date: 6/19/00
Type or Printed Name: Bruce Hagen, RLS
Business Address: Paul I. Cripe, Inc.
7172 Graham Road, Indianapolis IN 46250
Telephone: 317-842-6777

INDIANA REGISTRATION NUMBER

300005

SEAL





SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, Surveyor

Phone (317) 776-8495

Fax (317) 776-9628

Suite 188

One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

April 28, 2004

Re: Ashbury Park Drain: Spring Farms Sec. 3

Attached are as-builts, certificate of completion & compliance, and other information for Spring Farms Sec. 3. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated August 14, 2000. The report was approved by the Board at the hearing held September 25, 2000. (See Drainage Board Minutes Book 5, Pages 457-459) The changes are as follows:

Structure:	T.C.:	I.E.:	Pipe:	Length:	Original Plans:	Difference:
700		862.73				
701		863.13	12	792	787	5 ✓
709		862.93				
710	867.04	863.81	15	170		
702		862.77				
703	867.44	863.54	24	180		
703	867.44	863.54				
704	869.84	864.49	24	272		
704	869.84	864.49				
705	872.63	866.63	21	449	447	2
705	872.63	866.63				
706	874.42	869.82	18	146	140	6
706	874.42	867.19				
707	874.62	870.57	15	65		
707	874.62	870.54				
708	874.25	871.45	12	157		

6" SSD Streets:	
Spring Farms Dr	409.5
Freehold Ct	363.5
Total x2:	1546

RCP Pipe Totals:	
12	949
15	235
18	146
21	449
24	452

The length of the drain due to the changes described above is now **3,777 feet**.

The non-enforcement was approved by the Board at its meeting on September 25, 2000 and recorded under instrument #2000-00061205.

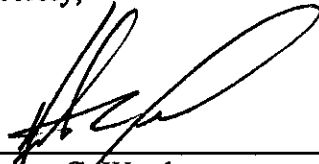
The following sureties were guaranteed by Developers Surety and Indemnity Company and released by the Board on its July 24, 2000 meeting.

Bond-LC No: 885133S
Insured For: Storm Sewers, SSD
Amount: \$69,560
Issue Date: September 24, 1999

Bond-LC No: 885134S
Insured For: Erosion Control
Amount: \$3,754
Issue Date: September 24, 1999

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,



Kenton C. Ward,
Hamilton County Surveyor

KCW/slm

OWNER/DEVELOPER

ASHBURY PARK LLC

STEVE PITTMAN
P.O. BOX 554
CARMEL, IN 46032

Ph. (317) - 580-9693 FAX (317) - 580-9786

ENGINEER:

PAUL I. CRIFE, INC.

BRUCE HAGEN
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
Ph. (317) 842-6777 FAX (317) 841-4798

PERIMETER DESCRIPTION

A part of the Northeast Quarter of Section 27, Township 18 North, Range 3 East, Clay Township, in Hamilton County, Indiana, and more particularly described as follows:

Commencing at Northwest corner of said Northeast Quarter; thence along the North line of said Northeast Quarter and the North line of a 1.00 acre tract described in Instrument No. 83-6194 as recorded in the Office of the Recorder of Hamilton County, Indiana, North 89 degrees 17 minutes 54 seconds East [the basis of bearing is the North line (which line is the South line of said Northeast Quarter)] of the recorded plot of Springmill Stream-Section Four, as recorded in Plot Book 12, Pages 45-47, 238.00 feet to the Northeast corner of said tract and to the point of beginning of this description; thence along the East line of said tract, South 00 degrees 07 minutes 08 seconds East 183.00 feet to the Southeast corner of said tract and to the point of beginning of a 1.81 acre tract of land described in Instrument No. 980985839 as recorded in the Office of said Recorder; thence along the East line of the 1.81 acre tract, South 00 degrees 07 minutes 16 seconds East 331.81 feet to the North line of a 0.072 acre tract described as Parcel I in Instrument No. 9709707220 as recorded in the Office of said Recorder; thence along said North line, North 89 degrees 52 minutes 52 seconds East 12.00 feet to the Northeast corner of said 0.072 acre tract; thence along the East line of said 0.072 acre tract, South 00 degrees 07 minutes 08 seconds East 12.61 feet to the North line of an exception tract described as one (1) acre on which grantor's marital residence sets, Instrument No. 93-58524 as recorded in the Office of said Recorder (the next three courses are along the North, East and South lines of said exception tract);(1) thence North 89 degrees 52 minutes 52 seconds East 185.60 feet;(2) thence South 00 degrees 07 minutes 08 seconds East 100.00 feet;(3) thence South 89 degrees 52 minutes 52 seconds West 185.60 feet to the East line of line of a 0.215 acre tract described as Parcel II in said instrument No. 9709707220; thence along said East line, South 00 degrees 07 minutes 08 seconds East 37.37 feet to the North line of line of a 1.66 acre tract described in Instrument No. 970971234 as recorded in the Office of said Recorder (the next three courses are along the North, East and South lines of said tract);(1) thence North 89 degrees 52 minutes 52 seconds East 78.02 feet;(2) thence South 00 degrees 08 minutes 08 seconds East 230.52 feet;(3) thence North 89 degrees 59 minutes 09 seconds West 0.41 feet to the East line of a 1.96 acre tract described in Deed Book 328, Page 157 as recorded in the Office of said Recorder; thence along the East line of said 1.96 acre tract, South 00 degrees 07 minutes 16 seconds East 129.18 feet to the approximate centerline of Henley Creek and to a Northeasterly line of a 12.41 acre tract of land described in Instrument No. 9709740067 as recorded in the Office of said Recorder (the next seven courses are along the Northeasterly and Easterly lines of said 12.41 acre tract and the approximate centerline of Henley Creek);(1) thence South 66 degrees 13 minutes 28 seconds East 308.08 feet;(2) thence South 34 degrees 03 minutes 17 seconds East 88.22 feet;(3) thence South 09 degrees 57 minutes 49 seconds East 153.00 feet;(4) thence South 17 degrees 50 minutes 32 seconds West 117.56 feet;(5) thence South 02 degrees 49 minutes 27 seconds West 188.78 feet;(6) thence South 05 degrees 01 minutes 43 seconds West 121.92 feet;(7) thence South 01 degree 16 minutes 46 seconds West 173.77 feet to the South line of the North Half of the Southwest Quarter of the Northeast Quarter of said Section 27; thence along said South line North 89 degrees 14 minutes 49 seconds East 691.96 feet to the West line of the East Half of the Northeast Quarter of said Section 27; thence along said East line, South 00 degrees 11 minutes 09 seconds East 657.54 feet to the South line of the Northeast Quarter of said Section 27; thence along said South line, North 89 degrees 13 minutes 32 seconds East 185.28 feet to the West line of a 1.00 acre tract described in Instrument No.9609638999 as recorded in the Office of said Recorder (the next two courses are along the West and North lines of said 1.00 acre tract);(1) thence North 00 degrees 11 minutes 09 seconds West 264.00 feet;(2) thence North 89 degrees 13 minutes 32 seconds East 165.00 feet to the East line of the 19 acre tract described as "TRACT ONE" in said instrument No. 93-58524; thence along the East line of said "TRACT ONE", North 00 degrees 11 minutes 16 seconds West 236.74 feet to the Northeast corner of said 19 acre tract and to the North line of the Northeast Quarter of said Section 27; thence along said North line, South 89 degrees 17 minutes 54 seconds West 822.08 feet to the Northeast corner of a 1.24 acre tract as described in Instrument No. 9809829045 as recorded in the Office of said Recorder (the next three courses are along the East, South and West lines of said 1.24 acre tract);(1) thence South 01 degrees 47 minutes 59 seconds East 199.35 feet;(2) thence South 89 degrees 17 minutes 54 seconds West 273.80 feet;(3) thence North 00 degrees 16 minutes 14 seconds East 199.35 feet to the North line of said Northeast Quarter; thence along said North line, South 89 degrees 17 minutes 54 seconds West 317.73 feet to the point of beginning, containing 56.957 acres, more or less.

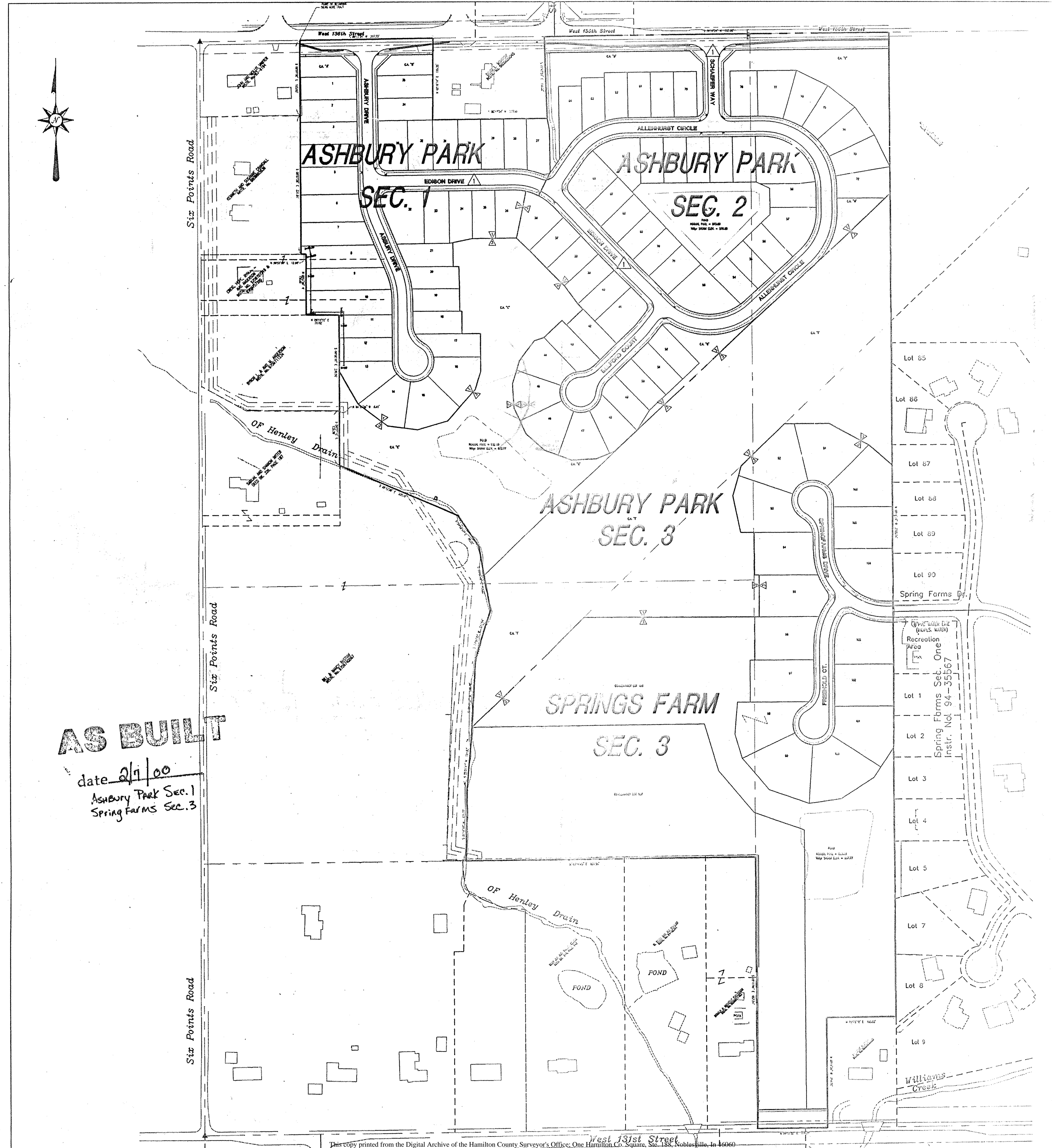
ALSO,

A part of the land conveyed to J. Warren and Juanita Harvey per Deed Record 137, Page 407 as recorded in the Office of the Recorder of Hamilton County, Indiana, and being a part of the Northeast Quarter of Section 27, Township 18 North Range 3 East, Clay Township, in Hamilton County, Indiana, and more particularly described as follows:

Commencing at Northwest corner of said Northeast Quarter; thence along the North line of said Northeast Quarter and the North line of a 1.00 acre tract described in Instrument No. 83-6194 as recorded in said Recorder's Office, North 89 degrees 17 minutes 54 seconds East 238.00 feet to the Northeast corner of said tract; thence along the East line of said tract, South 00 degrees 07 minutes 08 seconds East 183.00 feet to the Southeast corner of said tract and to the point of beginning of a 1.81 acre tract of land described in Instrument No. 980985839 as recorded in the Office of said Recorder; thence along the East line of the 1.81 acre tract, South 00 degrees 07 minutes 16 seconds East 331.81 feet to the North line of a 0.072 acre tract described as Parcel I in Instrument No. 9709707220 as recorded in the Office of said Recorder; thence along said North line, North 89 degrees 52 minutes 52 seconds East 12.00 feet to the Northeast corner of said 0.072 acre tract; thence along the East line of said 0.072 acre tract, South 00 degrees 07 minutes 08 seconds East 12.61 feet to the North line of an exception tract described as one (1) acre on which grantor's marital residence sets, in Instrument No. 93-58524 as recorded in the Office of said Recorder and to the point of beginning of this description (the next three courses are along the North, East and South lines of said exception tract);(1) thence North 89 degrees 52 minutes 52 seconds East 185.60 feet;(2) thence South 00 degrees 07 minutes 08 seconds East 100.00 feet;(3) thence South 89 degrees 52 minutes 52 seconds West 185.60 feet to the East line of line of a 0.215 acre tract described as Parcel II in said instrument No. 9709707220; thence North 00 degrees 07 minutes 08 seconds West 100.00 feet to the point of beginning, containing 0.43 acres, more or less.

Subject to the rights-of-way for 136th Street and 131st Street and other easements, covenants, conditions and restrictions of record.

CONSTRUCTION PLANS FOR ASHBURY PARK SECTIONS 1-3 SPRING FARMS SECTION 3



PROJECT DATA

Project Address: West 136th Street
Project Area: Area 67.98 Acres
Total Lots: 102 lots
Ashbury Park Sec. 1: 35 lots
Ashbury Park Sec. 2: 40 lots
Spring Farms Sec. 3: 15 lots

INDEX

SHT	DESCRIPTION
CS	COVER SHEET
C101	MAP SHEET
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C103	EXISTING CONDITIONS AND DEMOLITION PLAN
C104	EXISTING CONDITIONS AND DEMOLITION PLAN
C105	EXISTING CONDITIONS AND DEMOLITION PLAN
C106	EXISTING CONDITIONS AND DEMOLITION PLAN
C107	EXISTING CONDITIONS AND DEMOLITION PLAN
C108	EXISTING CONDITIONS AND DEMOLITION PLAN
C201	SITE DEVELOPMENT PLAN
C202	SITE DEVELOPMENT PLAN
C203	SITE DEVELOPMENT PLAN
C204	SITE DEVELOPMENT PLAN
C205	SITE DEVELOPMENT PLAN
C206	SITE DEVELOPMENT PLAN
C207	SITE DEVELOPMENT PLAN
C208	EROSION CONTROL PLAN
C209	EROSION CONTROL PLAN
C210	EROSION CONTROL DETAILS AND SPECIFICATIONS
C301	STREET PLAN & PROFILE
C302	STREET PLAN & PROFILE
C303	STREET PLAN & PROFILE
C304	STREET PLAN & PROFILE
C305	PAVEMENT DETAILS
C401	INTERSECTION AND CULDESAC DETAILS
C402	INTERSECTION AND CULDESAC DETAILS
C403	ENTRANCE DETAIL
C404	ENTRANCE DETAIL
C405	TRAFFIC MAINTENANCE PLAN
C406	TRAFFIC CONTROL PLAN
C501	SANITARY PLAN & PROFILES
C502	SANITARY PLAN & PROFILES
C503	SANITARY PLAN & PROFILES
C504	SANITARY PLAN & PROFILES
C505	SANITARY SEWER DETAILS AND SPECIFICATIONS
C701	STORM SEWER PLAN & PROFILES
C702	STORM SEWER PLAN & PROFILES
C703	STORM SEWER PLAN & PROFILES
C704	STORM SEWER PLAN & PROFILES
C705	STORM SEWER PLAN & PROFILES
C706	STORM SEWER PLAN & PROFILES
C707	STORM SEWER DETAILS AND SPECIFICATIONS
C708	STORM SEWER DETAILS
C801	WATER DISTRIBUTION PLAN
C802	WATER DETAILS AND SPECIFICATIONS
C901	GENERAL SPECIFICATIONS
C902	GRAVITY WALL DETAILS

BENCHMARKS

PROJ. REFERENCE: U.S.C.G.S. Bench #880 - Bronze Disc Stamped 880 1951, Located 13' North Of The Centerline Of 131st Street In Line With Clay Center Road 10' South Of Fence. (X/R 89445-2000) Elev. = 879.78

SP. CONTROL POINT REBAR (Point No.500) Set Flush With Ground, Located Southwest Of The Entrance To Buckhorn Subdivision, It's Approx. 17 Feet West Of A North-South Fence And 50 Feet East Of A Power Pole. Elev. = 883.76

CONTACT CO. / PERSON FOR

OWNER	NAME	PHONE NO.	FAX NO.
ASHBURY PARK LLC	LARRY CASTLETT	317-580-9693	317-580-9786
INDIANA GAS	MARK ROGGS	317-581-3048	317-591-3031
AUGERTECH	ERIC WAGSON	317-776-5597	317-776-5553
HAMILTON WESTERN	JOHN O'NEARNEY	317-252-4274	317-252-5000
COUNTY SURVEYOR	KENT WARD	317-818-6403	
CAMUEL DOGS	TERRY JONES	317-776-8495	317-776-9628
CAMUEL ENGINEER	KATE BOYLE-WIESE	317-571-2417	317-571-2462
HAMILTON COUNTY SCS	JOHN SOUTH	317-571-2441	317-517-2439
CLAY TOWNSHIP REG WASTE	JAY ALLEY	317-773-1432	317-776-1101
PARAGRADE EASTERN	SHARON PRATER	317-844-9200	317-844-9203
		317-873-2410	

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1-800-382-5544
1-800-428-5200
CALL TOLL FREE FOR CALLS OUTSIDE OF INDIANA

PAUL I. CRIFE TEAM: 317-842-6777 FAX-841-4758

PROJECT MGR	BRUCE HAGEN	ESI. NO.
PROJECT ENGR		66
PROJECT SURVEYOR	TERRY MILLER	XIX
PROJECT LAND PLANNER	JOE SHARP	745
QUALITY ASSURANCE		67X

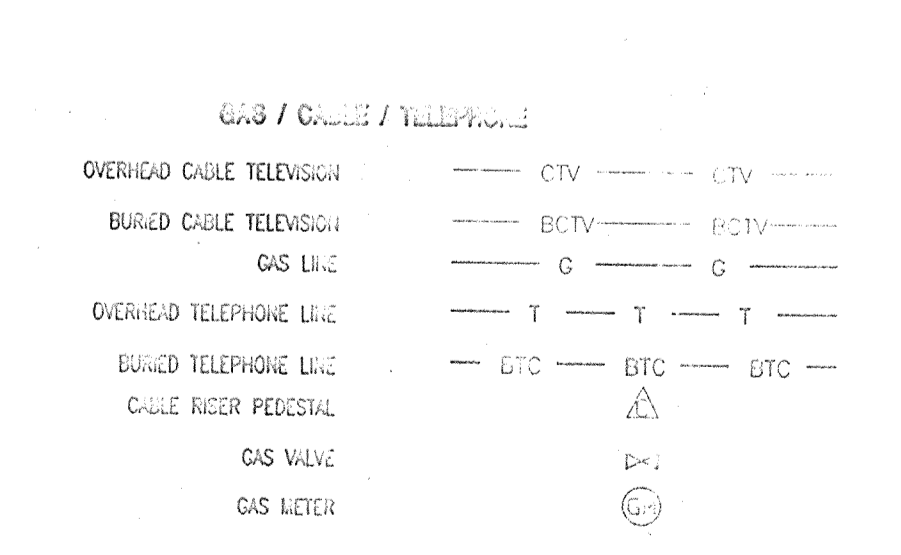
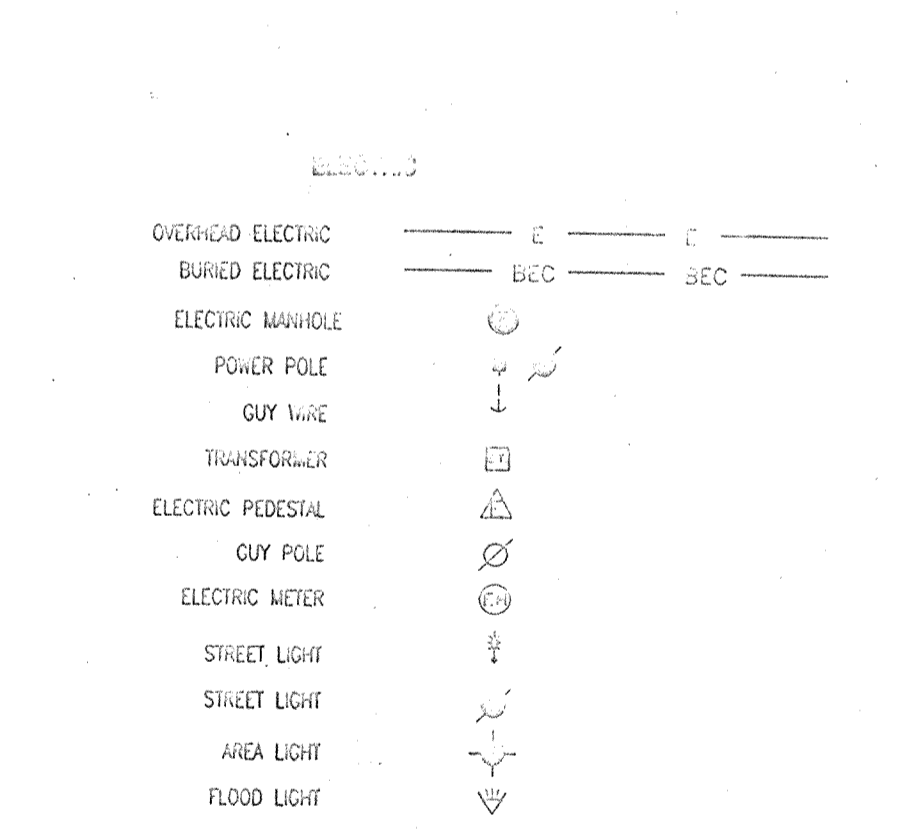
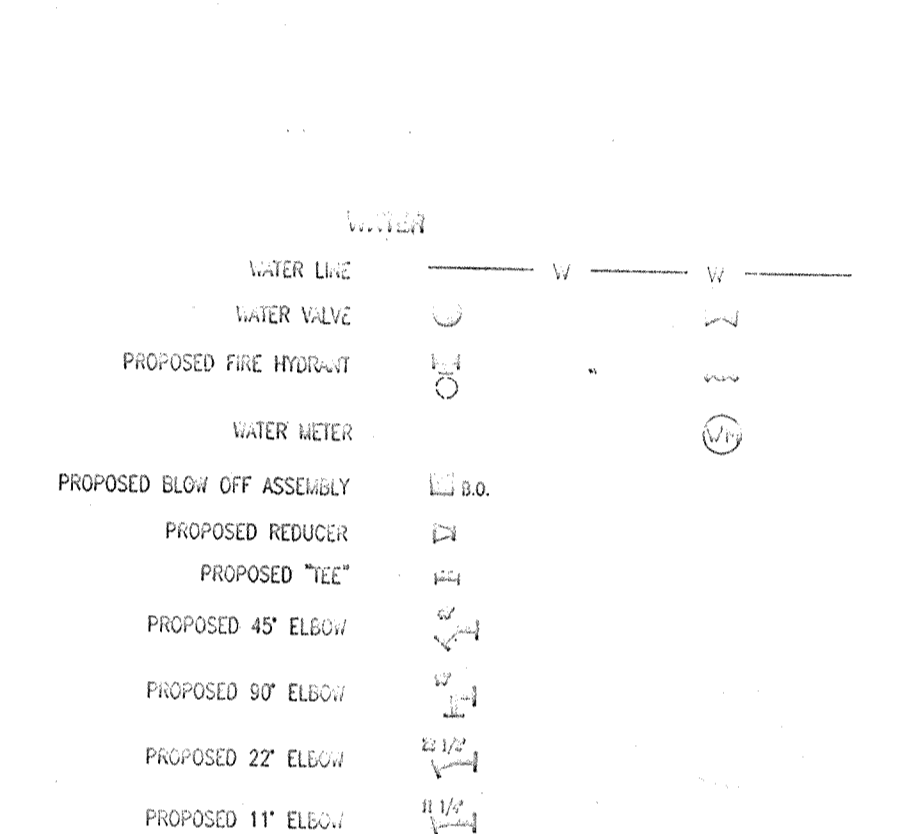
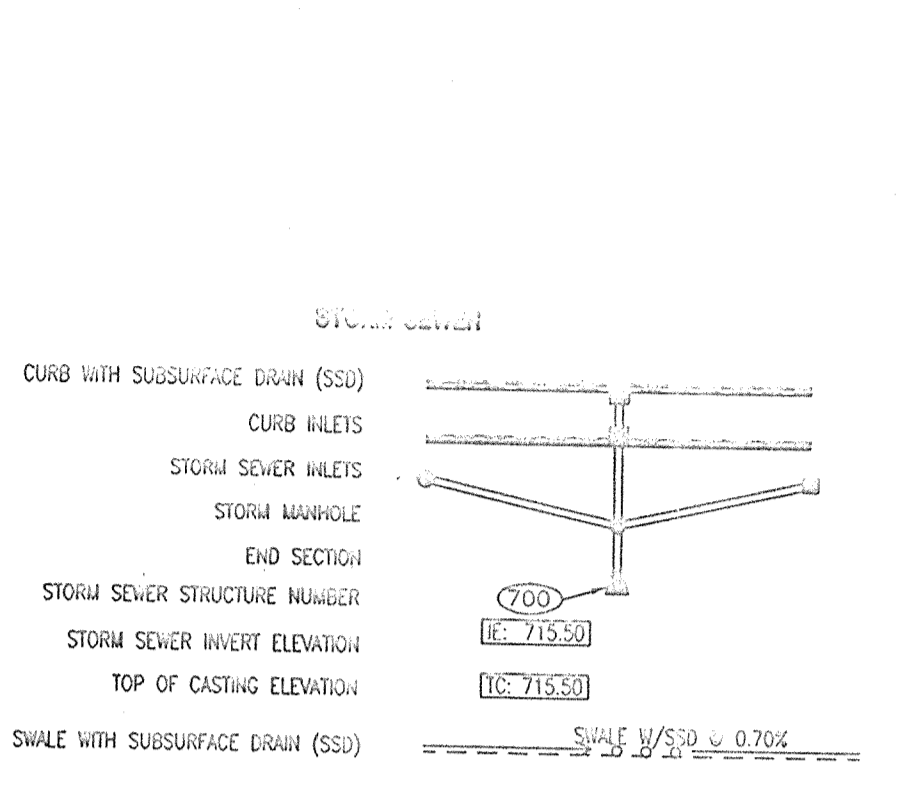
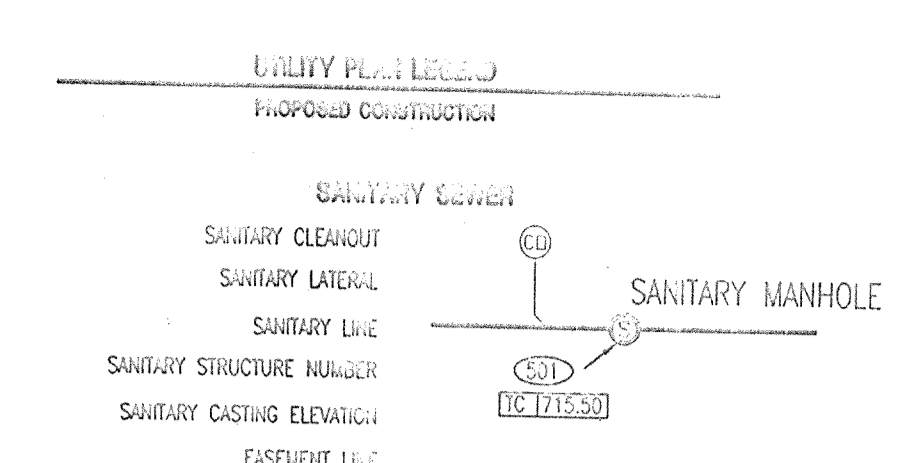
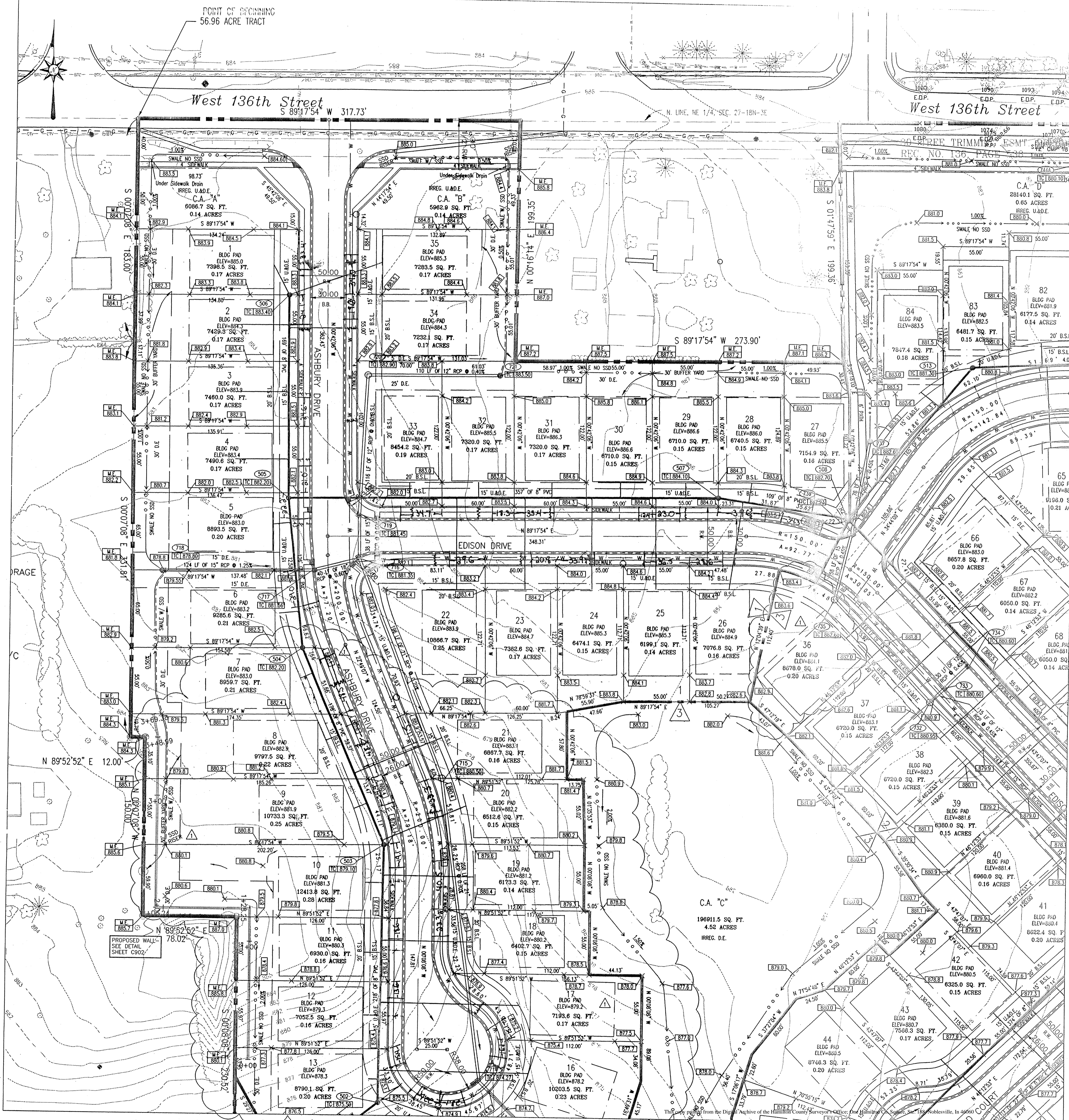
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PAUL I. CRIFE, INC.
 7172 GRAHAM ROAD
 INDIANAPOLIS, INDIANA 46250
 Ph. (317) 842-6777 FAX (317) 841-4798

COVER SHEET
 ASHBURY PARK
 SPRING FARMS SECTION 3

RECEIVED BY: *[Signature]*
 BRUCE HAGEN
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF INDIANA
 No. 92009C

DATE: 2/1/00
 SHEET: 1 OF 1



AS BUILT
date 2/1/00
Ashbury Park Sec. 1
Spring Farms Sec. 2

RETAINING WALL
ROR OF LOTS 8-13
NOT TO BE CONSTRUCTED

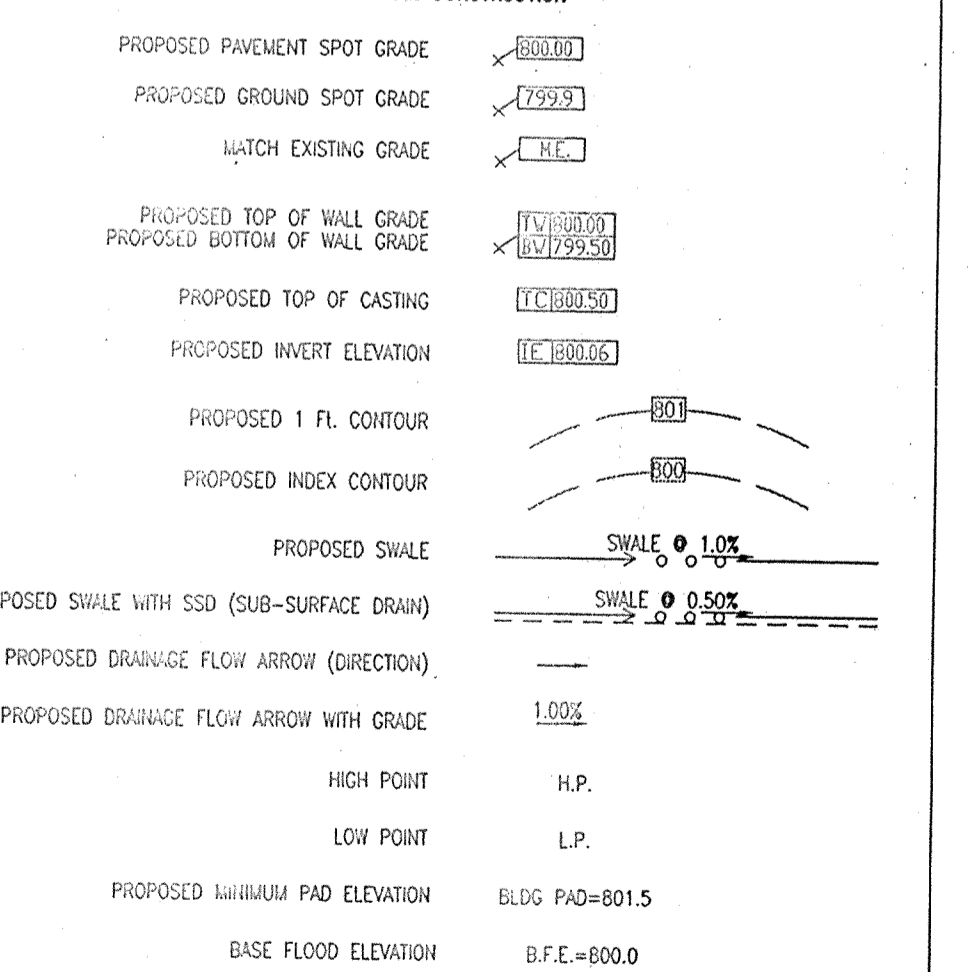
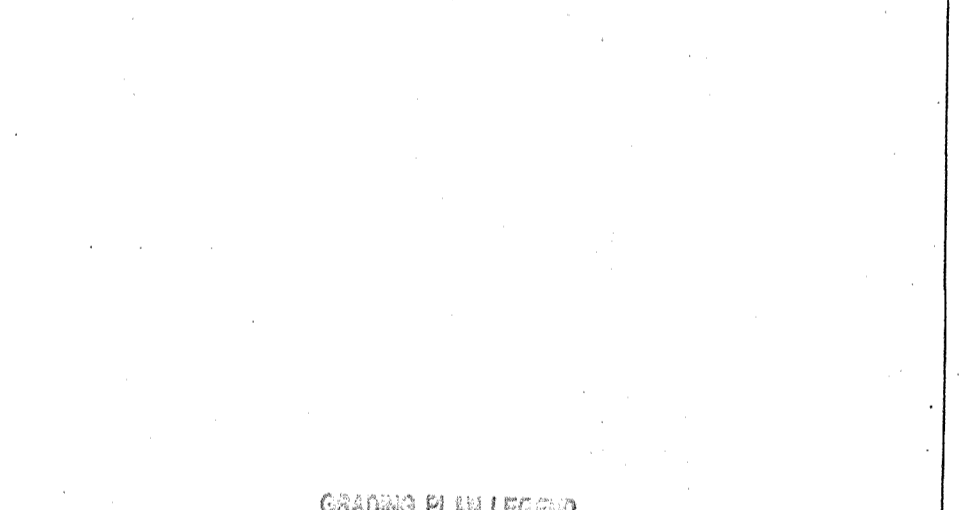
PER DEVELOPER

- Grading Notes
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 2. ALL TOPSOIL SHALL BE PLACED IN MOUNDING AREAS AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS TO BE SEEDS SUCH AS LAKE SLOPES, MOUND AREAS, AREAS BETWEEN CURB AND CLEARING LIMITS, AND ALL DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
 3. STRAW BALE BAIRS, SEDIMENT PITS AND SILT FENCES SHALL BE UTILIZED TO CONTROL EROSION. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
 4. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO MAJOR EARTHWORK, WITHIN THE PROPOSED CONSTRUCTION LIMITS.
 5. THE BASE FLOOD ELEVATION (BFE) FOR THIS PROJECT HAS BEEN DETERMINED TO BE 870.0 FEET.
 6. SEE STREET PLAN & PROFILE SHEET FOR ADDITIONAL GRADES ON STREET.
 7. THE INTENT OF THESE PLANS IS TO USE ALL EXCESS FILL MATERIAL ONSITE. BORROW PITS IN NONSTRUCTURAL FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND TO DISPOSE OF TOPSOIL.
 8. BUILDING PAD AREAS AND STREETS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS FOR BUILDING AREAS AND STREETS ARE TO BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
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 10. TOPOGRAPHIC AND PLUMMETRIC INFORMATION FROM PHOTOGRAPHIC COMPILED BY OTHERS. ACCURACY HAS NOT BEEN FULLY CONFIRMED BY PAUL I. CRIFE, INC. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

ANY CONSTRUCTION BELOW THE 100 YEAR FLOOD ZONE "A" REQUIRES PERMIT FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). ANY CONSTRUCTION IN FLOODWAY REQUIRES PERMIT FROM INDIANA DEPARTMENT OF NATURAL RESOURCES (IDNR).

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 4. SEE SHEET C707 FOR STORM SEWER DETAILS.
 5. SEE SHEET C505 FOR SANITARY SEWER DETAILS.
 6. SEE SHEET C602 FOR ALL OTHER UTILITY DETAILS.
 7. WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS AND LOCAL CODES.



CAUTION
LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, utility valves, and marker made open the ground by utility) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY DIRT OR CONSTRUCTION.

BRUCE HAZEL
REGISTERED
No. 920299
STATE OF INDIANA
PROFESSIONAL ENGINEER

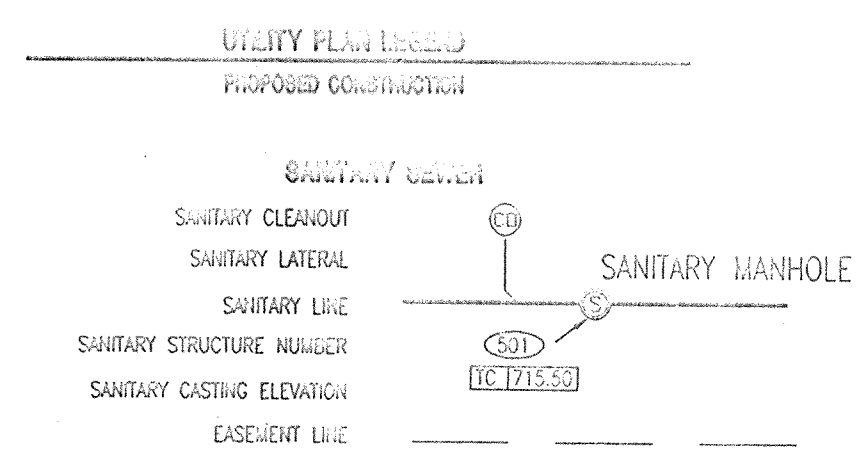
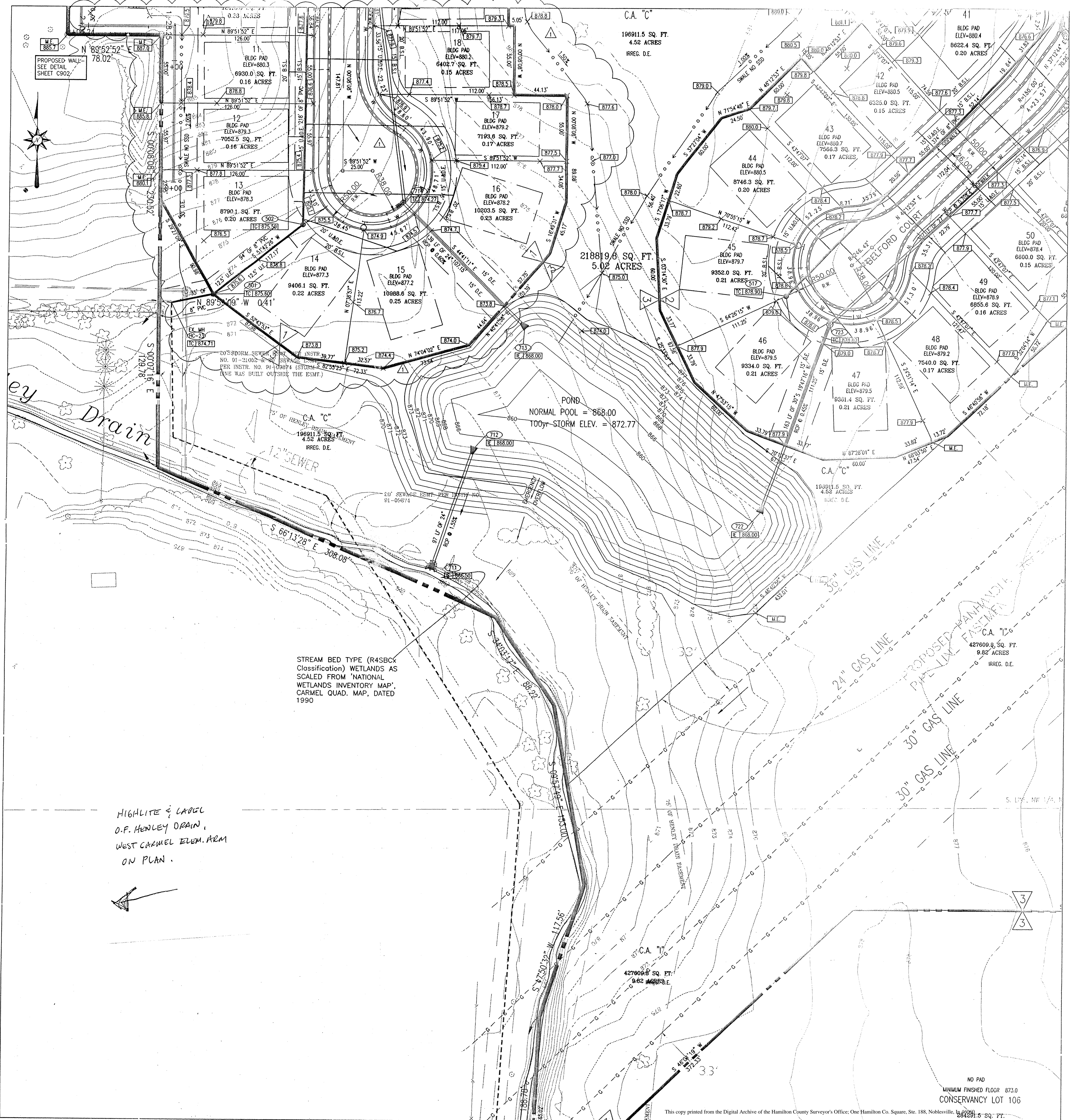
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Checked By: BRUCE HAZEL
Quality Assurance:
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Sheet: C23
Date: 09-30-09

PAUL I. CRIFE, INC.
7174 GRHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-6777
FAX: (317) 841-4798

GRADING AND UTILITY PLAN
ASHBURY PARK 1-3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554
9802

ARCHITECTS
ENGINEERS
LANDSCAPE ARCHITECTS
TRANSPORTATION ENGINEERS
LAND PLANNERS
LAND SURVEYORS

Revised: 08-23-09
Date: 08-23-09
Proposed Sanitary and SSD Lateral Locations



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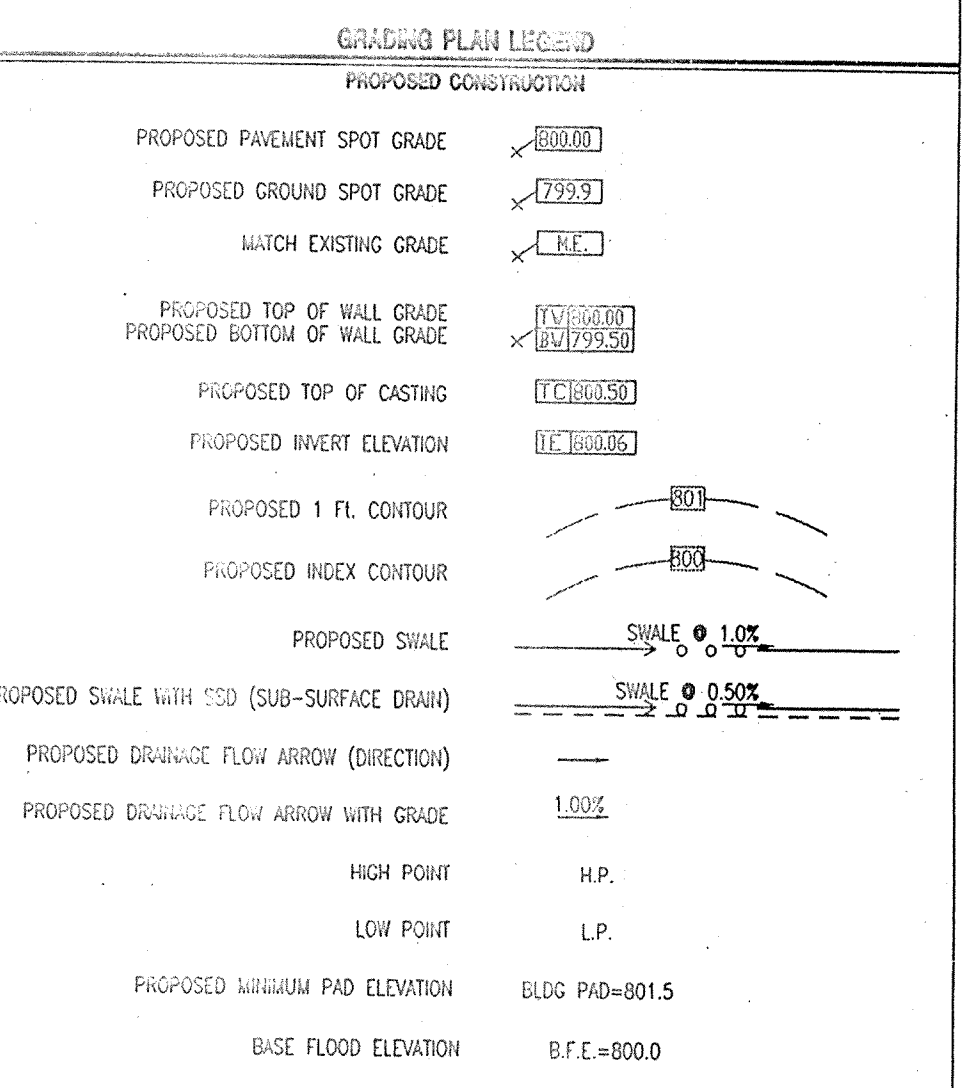
ANY CONSTRUCTION BELOW THE 100 YEAR FLOOD ZONE "X" REQUIRES PERMIT FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). ANY CONSTRUCTION IN FLOODWAY REQUIRES PERMIT FROM INDIANA DEPARTMENT OF NATURAL RESOURCES (IDNR).

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 4. SEE SHEET C707 FOR STORM SEWER DETAILS.
 5. SEE SHEET C605 FOR SANITARY SEWER DETAILS.
 6. SEE SHEET C602 FOR ALL OTHER UTILITY DETAILS.
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AS BUILT
data available
Ashbury Park Sec. 1
Spring Farms 30.0

DON'T DIG BLIND

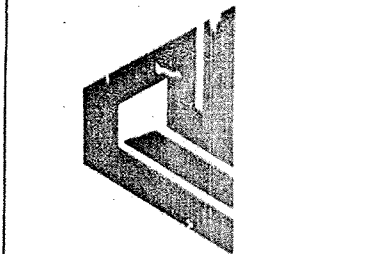
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1-800-428-6200
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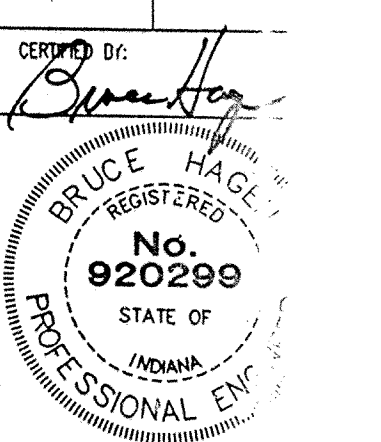
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Revised Pad Elevations and Grading Lots 7-20	08-21-98	1
Proposed Sanitary and Storm Utility Locations	08-21-98	2

- ARCHITECTS
- ENGINEERS
- LANDSCAPE ARCHITECTS
- ENVIRONMENTAL CONSULTANTS
- LAND SURVEYORS
- LAND PLANNERS
- LAND SURVEYORS

PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 411-4798
FAX (317) 841-4798

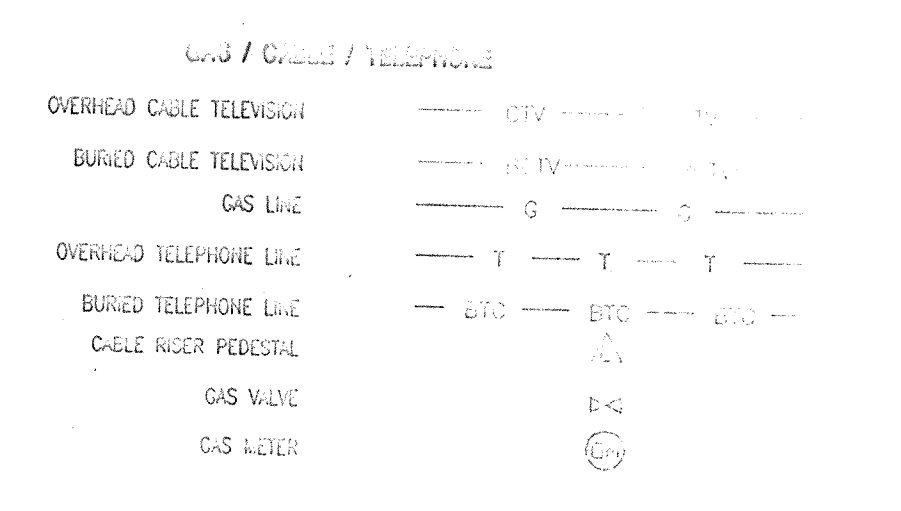
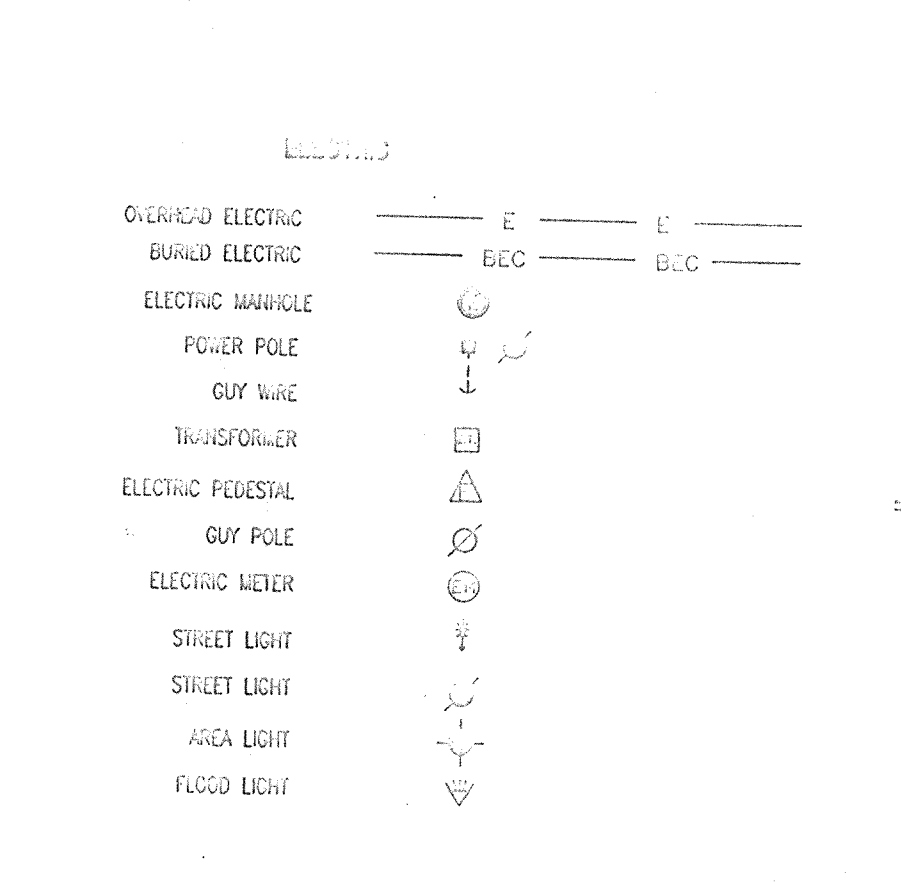
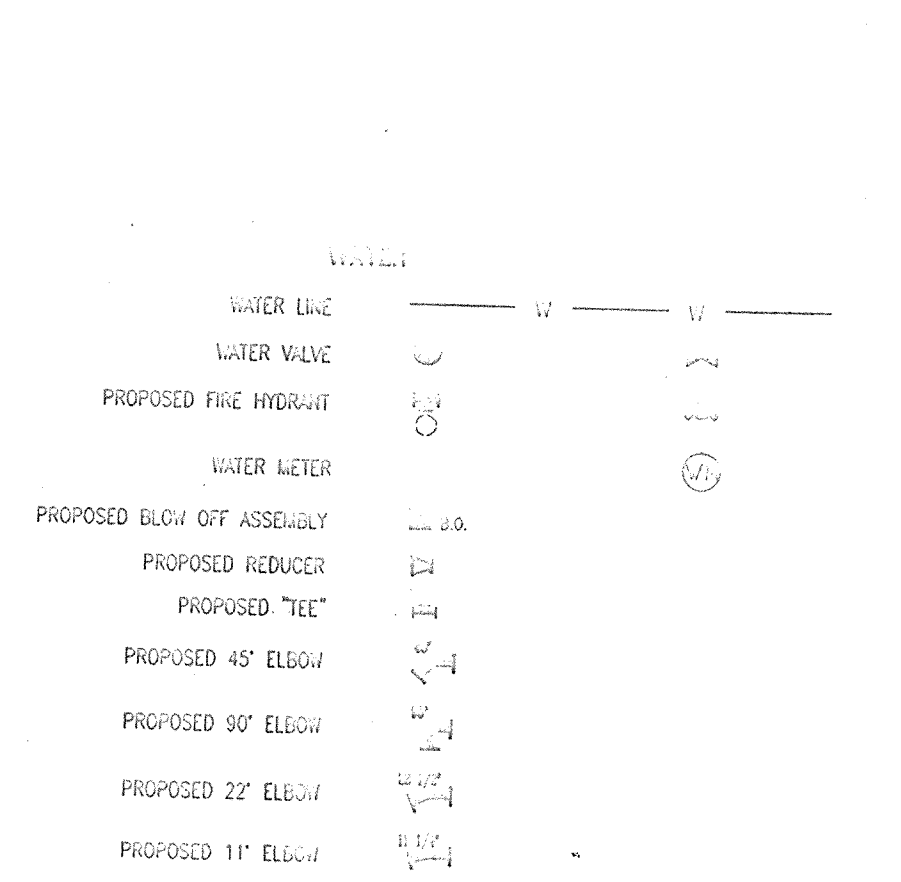
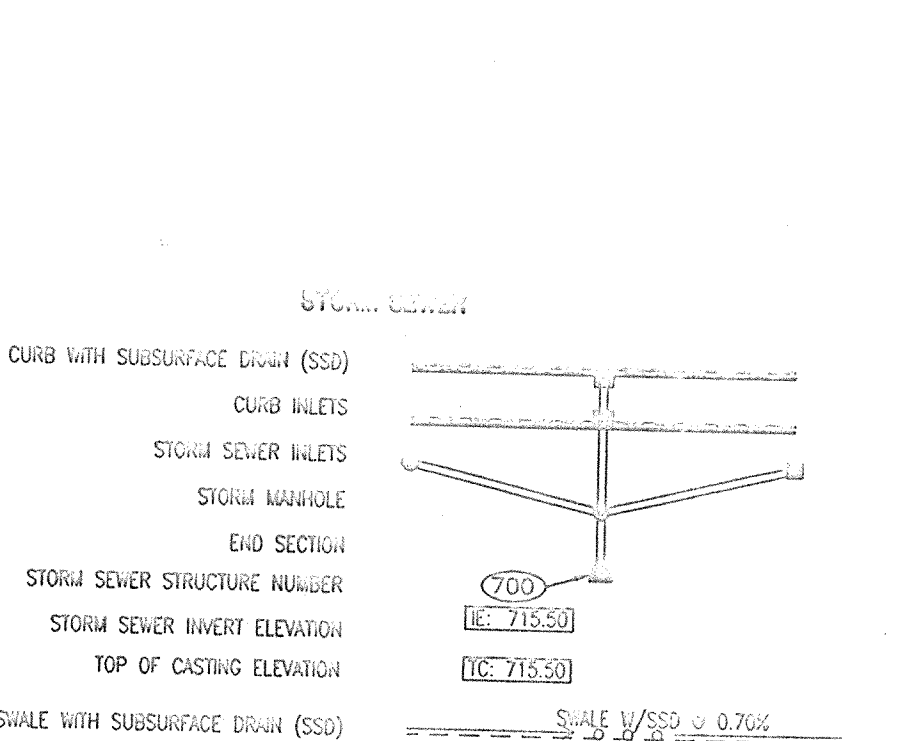
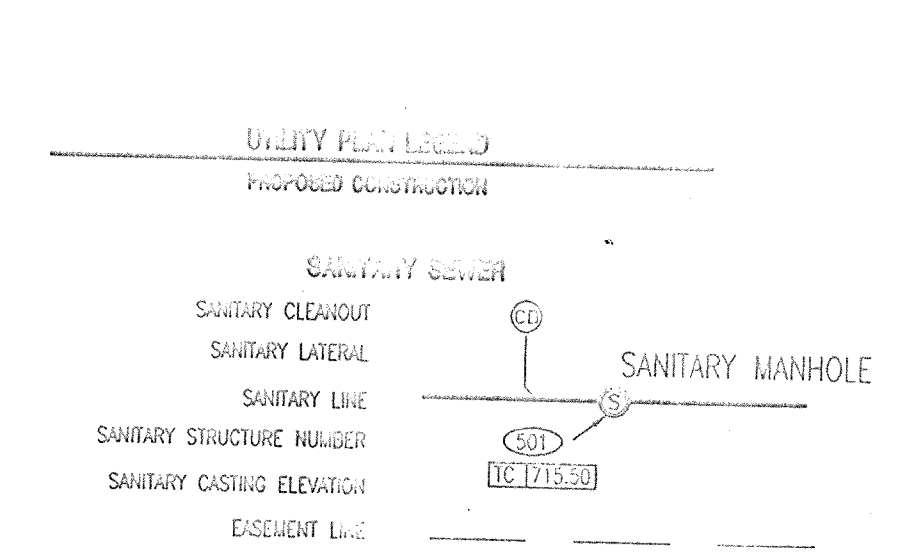
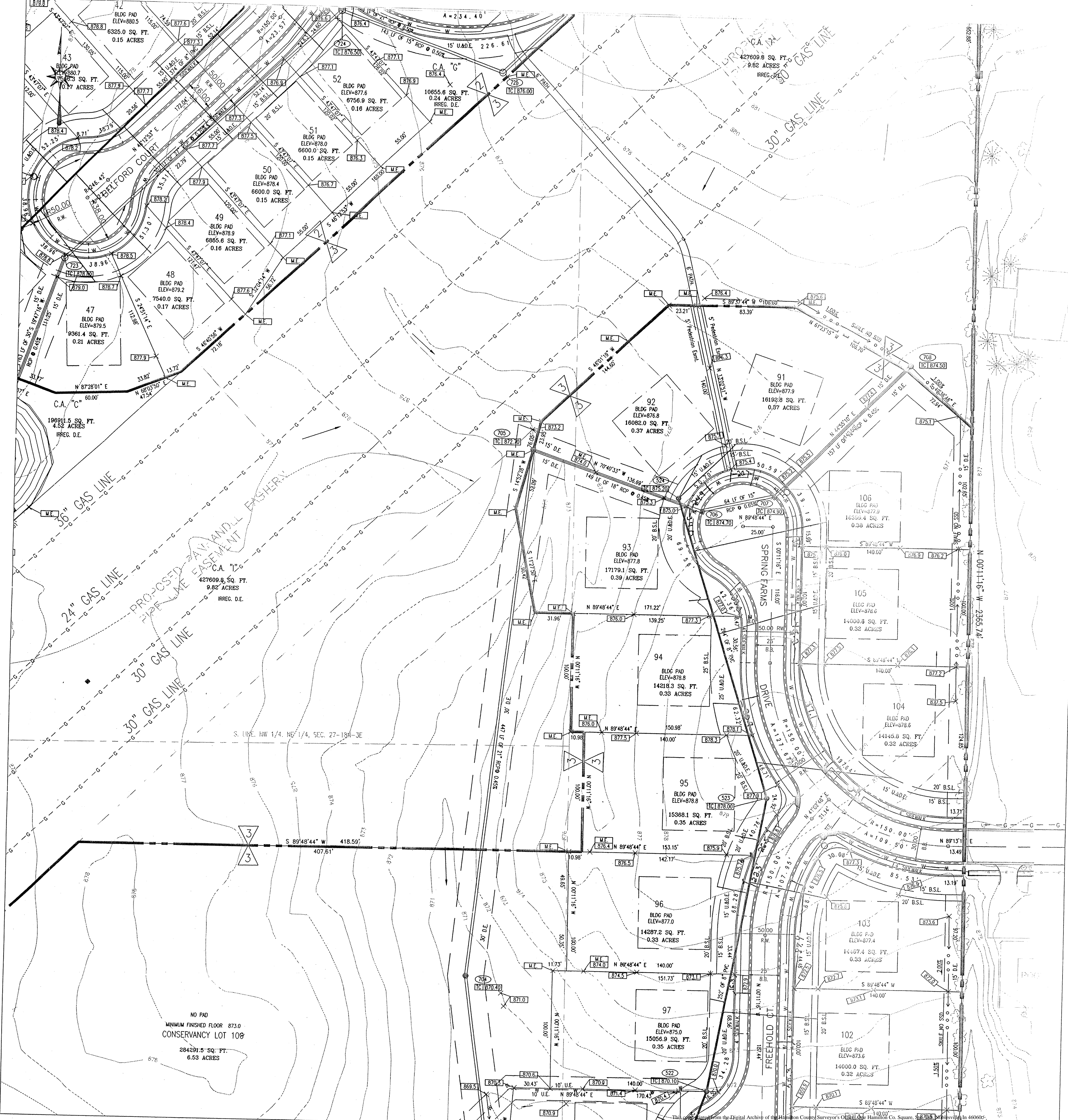


GRADING AND UTILITY PLAN
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554
SPRING FARMS, IN



Drawn By: _____
Checked By: **BRUCE HAGE**
Quality Assurance: _____
Scale: 1" = 40'
Sheet: **C20**
Date: **09-30-98**
Project Name: **980528-200**

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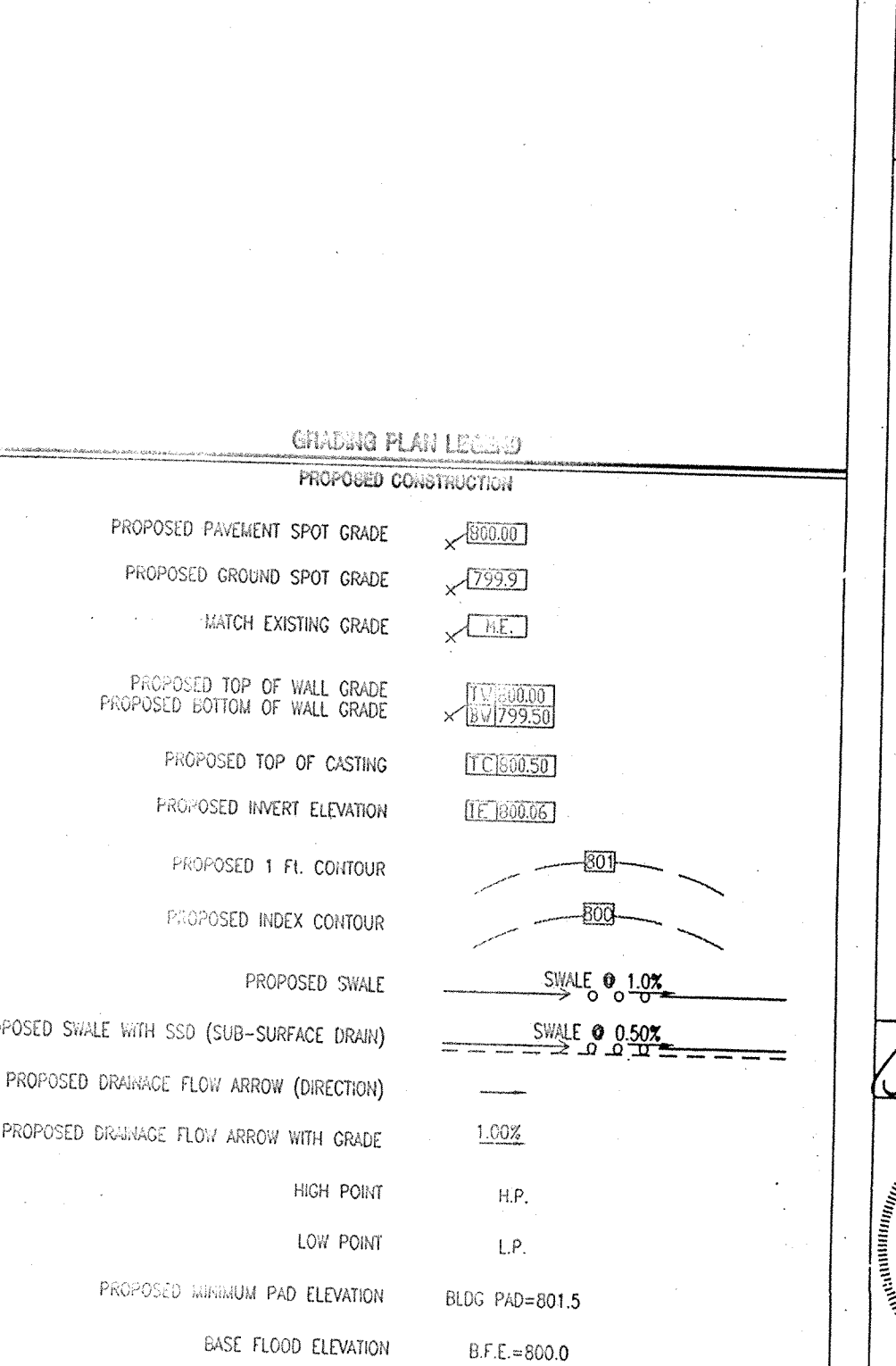
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 5. SEE SHEET C205 FOR SANITARY SEWER DETAILS.
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AS BUILT

date 2/1/10

Kensley Park Sec. 1

Spring Farms Sec. 3

PAUL I. CRIFE, INC.
 7172 GRAHAM ROAD
 INDIANAPOLIS, INDIANA 46250
 (317) 842-6777 FAX (317) 841-4798

ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
 P.O. BOX 554
 SPRINGFIELD, ILL. 62111

BRUCE HAGEN
 REGISTERED PROFESSIONAL ENGINEER
 No. 920299
 STATE OF INDIANA

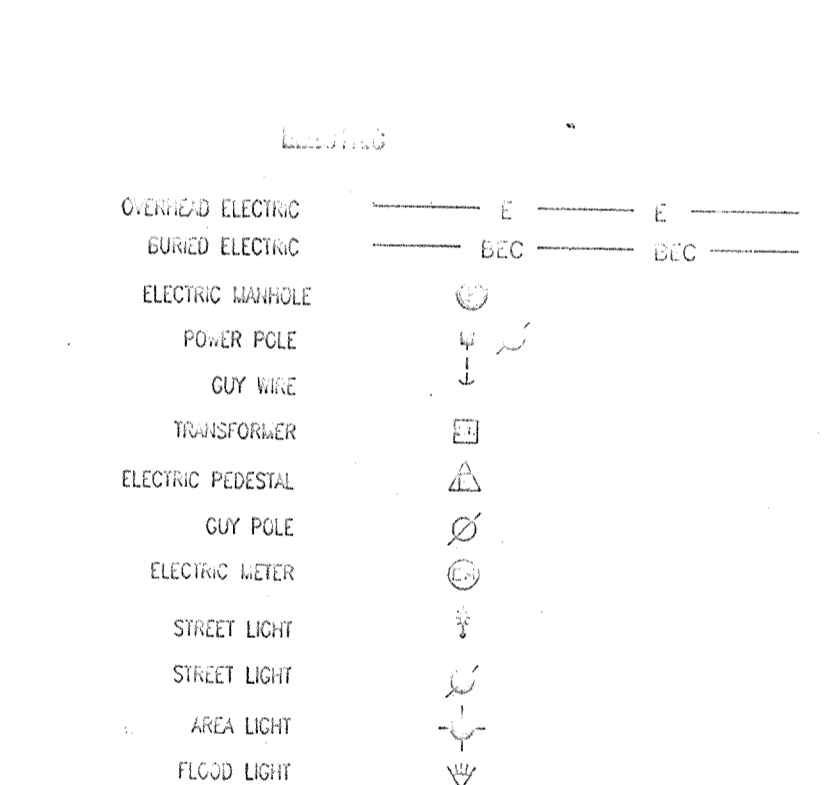
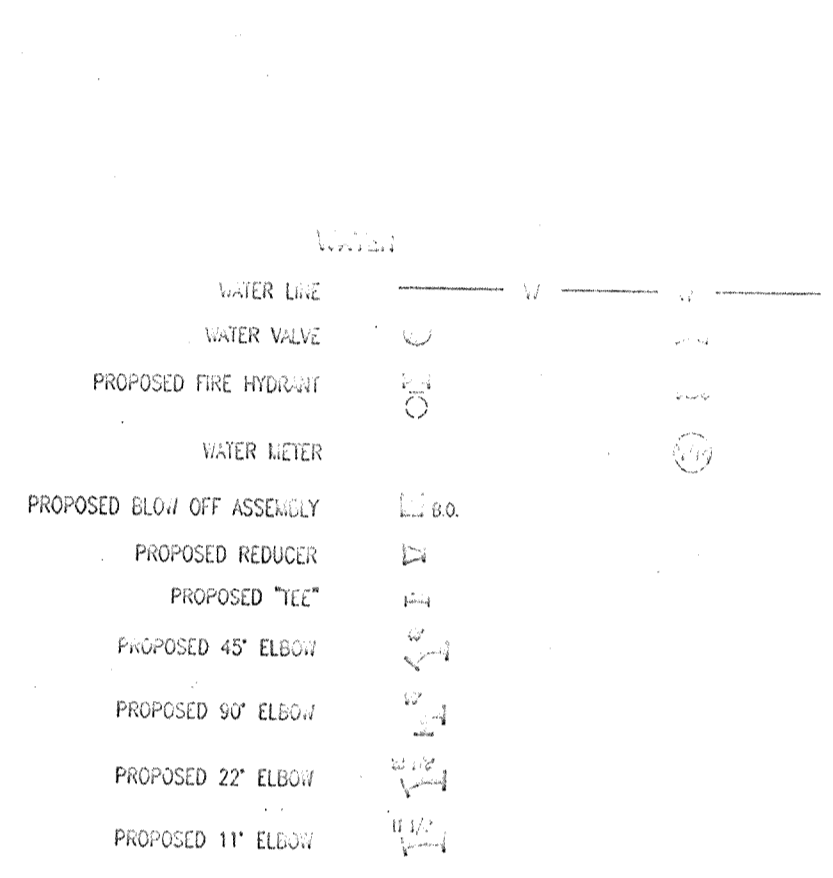
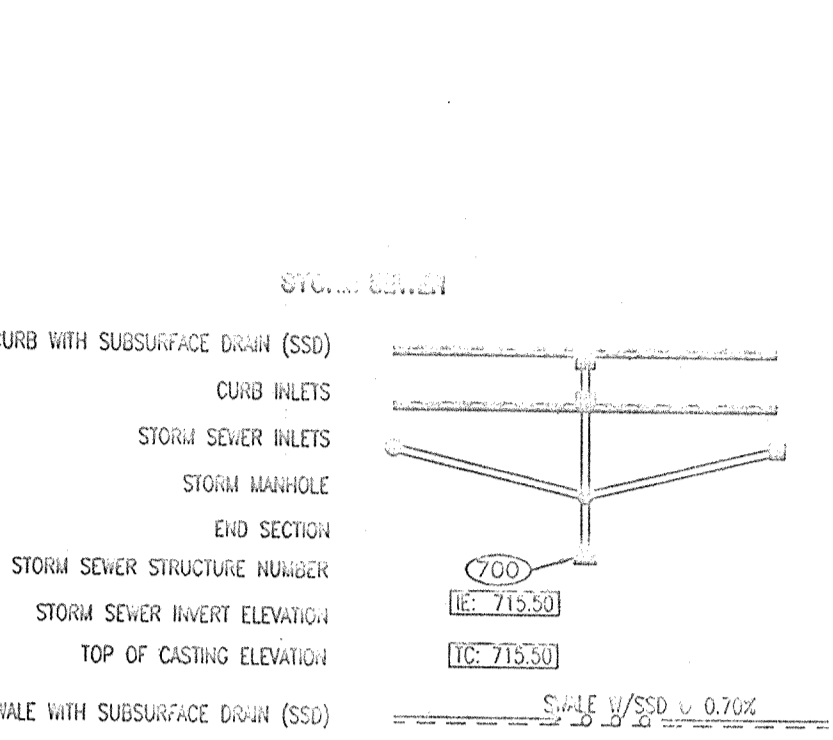
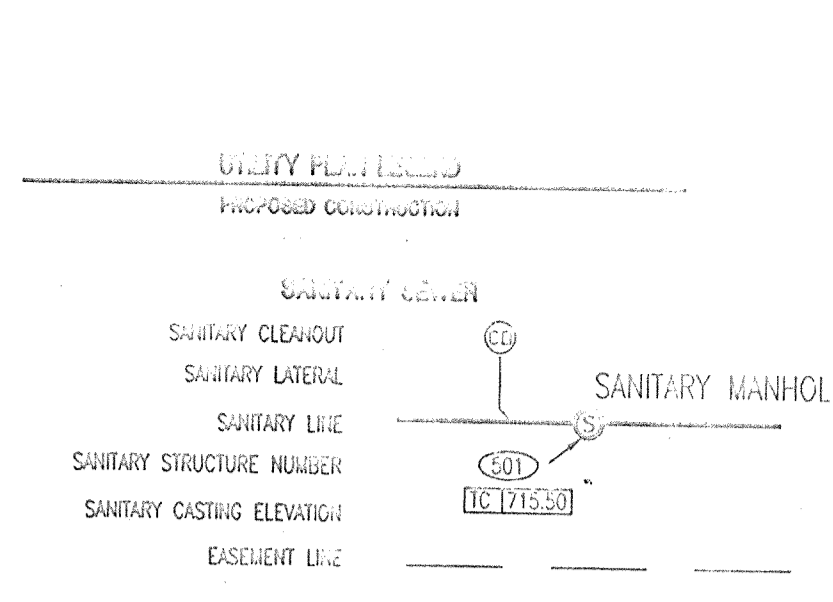
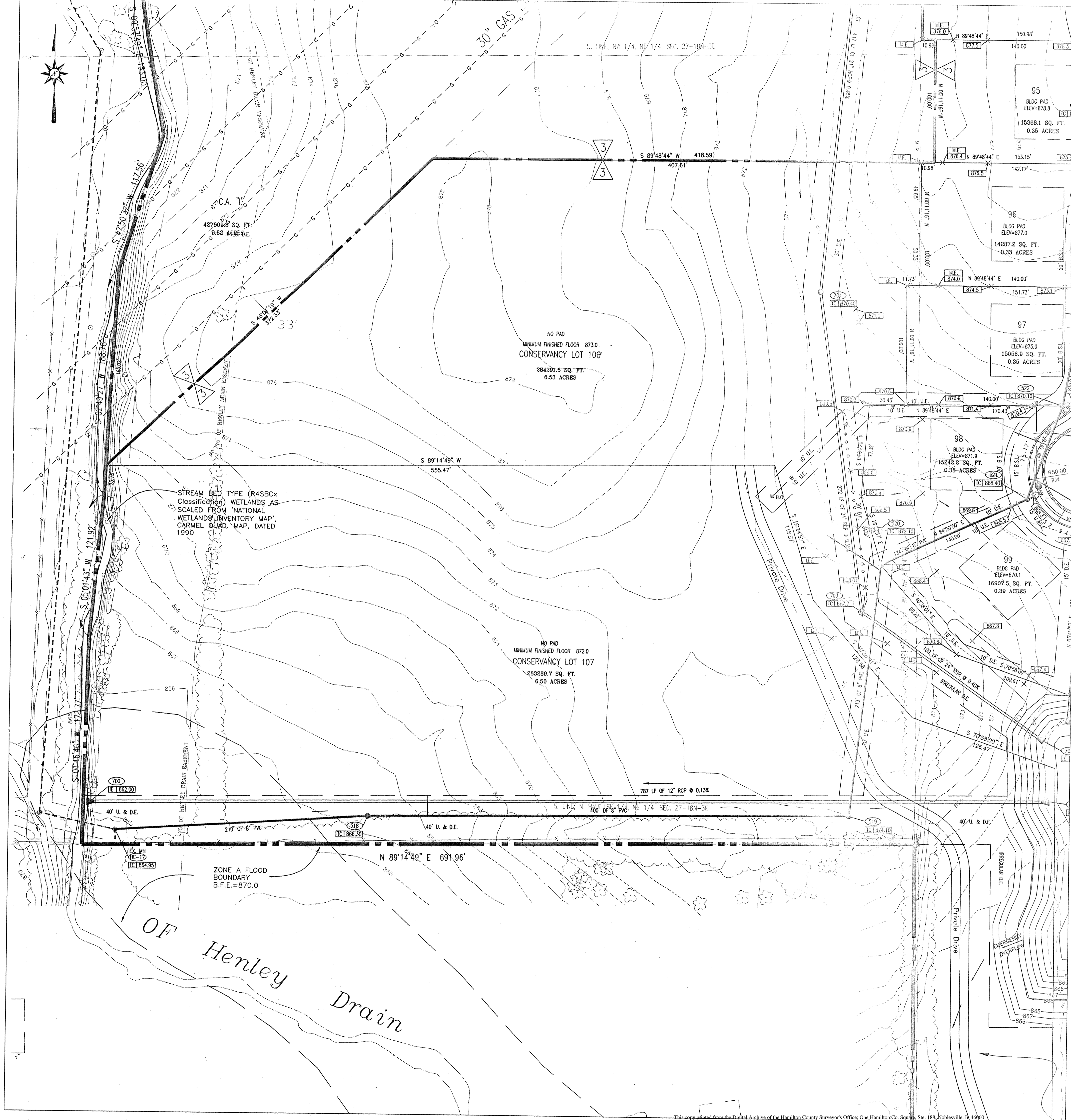
Drawn By: _____
 Checked by: **BRUCE HAGEN**
 Quality Assurance: _____

Scale: 1" = 10.00'
 1" = 50.00'

Sheet: **C20**

Date: **09-30-99**

Project Number: _____



- GRADING NOTES**
1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
 2. ALL TOPSOIL SHALL BE PLACED IN MOUNDING AREAS AND NONSTRUCTURAL FILL AREAS. UPON COMPLETION OF EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS TO BE SEEDED SUCH AS LAKE SHORES, MOUND AREAS, AREAS BETWEEN CURB AND CLEARING LIMITS, AND ALL DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
 3. STRAW BALE DAMS, SEDIMENT PITS AND SILT FENCES SHALL BE UTILIZED TO CONTROL EROSION. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
 4. EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO MAJOR EARTHWORK, WITHIN THE PROPOSED CONSTRUCTION LIMITS.
 5. THE BASE FLOOD ELEVATION (BFE) FOR THIS PROJECT HAS BEEN DETERMINED TO BE 870.0 FEET.
 6. SEE STREET PLAN & PROFILE SHEET FOR ADDITIONAL GRADES ON STREET.
 7. THE INTENT OF THESE PLANS IS TO USE ALL EXCESS FILL MATERIAL ONSITE. BORROW PITS IN NONSTRUCTURAL FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND TO DISPOSE OF TOPSOIL.
 8. BUILDING PAD AREAS AND STREETS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS FOR BUILDING AREAS AND STREETS ARE TO BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
 9. CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. OWNER AND OWNER'S REPRESENTATIVE SHALL BE CONSULTED FOR CLEARING LIMITS. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN STREET AREAS, UTILITY INSTALLATION LIMITS AND CUT FILL AREAS.
 10. TOPOGRAPHIC AND PLUMMETRIC INFORMATION FROM PHOTOGRAPHIC COMPILATION BY OTHERS. ACCURACY HAS NOT BEEN TOTALLY CONFIRMED BY PAUL I. CRIFE, INC. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

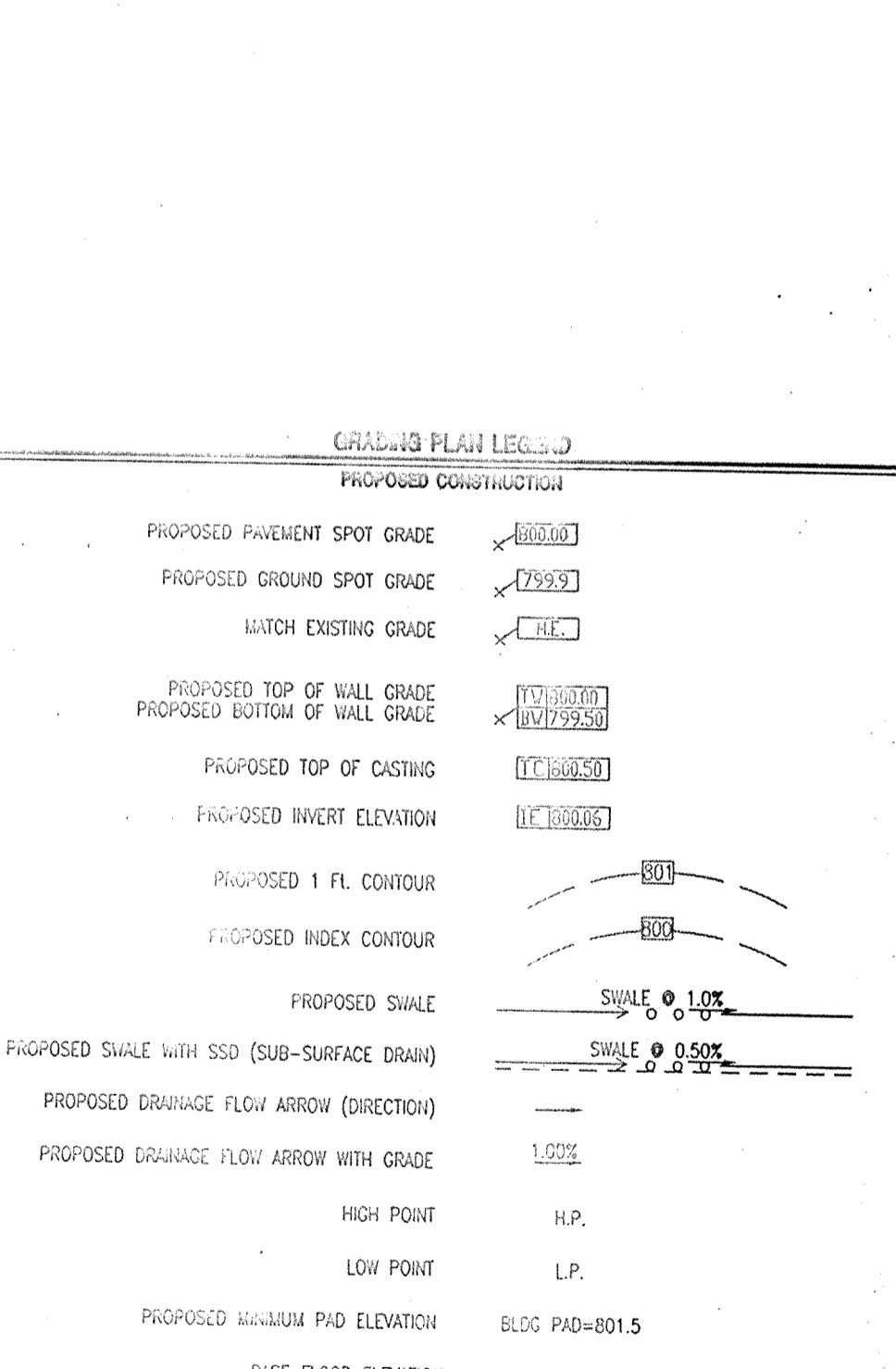
ANY CONSTRUCTION BELOW THE 100 YEAR FLOOD ZONE "A" REQUIRES PERMIT FROM FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA). ANY CONSTRUCTION IN FLOODWAY REQUIRES PERMIT FROM INDIANA DEPARTMENT OF NATURAL RESOURCES (IDNR).

BLDG PAD - (MINIMUM PAD ELEVATION) MEANS THE DEVELOPER IS TO FILL THE AREA TO THE ELEVATION SHOWN ON THE PLANS.

NO PAD - MEANS THE LOT OWNER MUST DEVELOP AN INDIVIDUAL PLOT PLAN AND NO PAD FILL REQUIRED BY THE CONTRACTOR.

BFE - (BASE FLOOD ELEVATION) MEANS THIS IS THE LOWEST FLOOR ELEVATION PER INDIANA DEPARTMENT OF NATURAL RESOURCES FLOOD CONTROL DIVISION. NO OPENING CAN BE BELOW THIS ELEVATION.

- UTILITY PLAN NOTES**
1. WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 48 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
 2. LOCATIONS OF EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
 3. PLASTIC WATER LINES ARE TO BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
 4. SEE SHEET C707 FOR STORM SEWER DETAILS.
 5. SEE SHEET C505 FOR SANITARY SEWER DETAILS.
 6. SEE SHEET C802 FOR ALL OTHER UTILITY DETAILS.
 7. WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS AND LOCAL CODES.



AS BUILT

date 2/1/00

ASHBURY PARK Sec. 1

Spring Farms Sec. 3

DON'T DIG BLIND

CAUTION: LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, shafts, valves, and marks made upon the ground by utility and air service companies in nature). THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SUCH EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY MAJOR CONSTRUCTION.

1-800-832-5544

1-800-423-5200

FOR CALLS OUTSIDE OF INDIANA

PAUL I. CRIFE, INC.

7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-4777
(317) 841-4798

ASHBURY PARK 1 - 3 and SPRING FARMS 3

ASHBURY PARK, LLC

P.O. BOX 554
SPRINGFORD, IN 47582

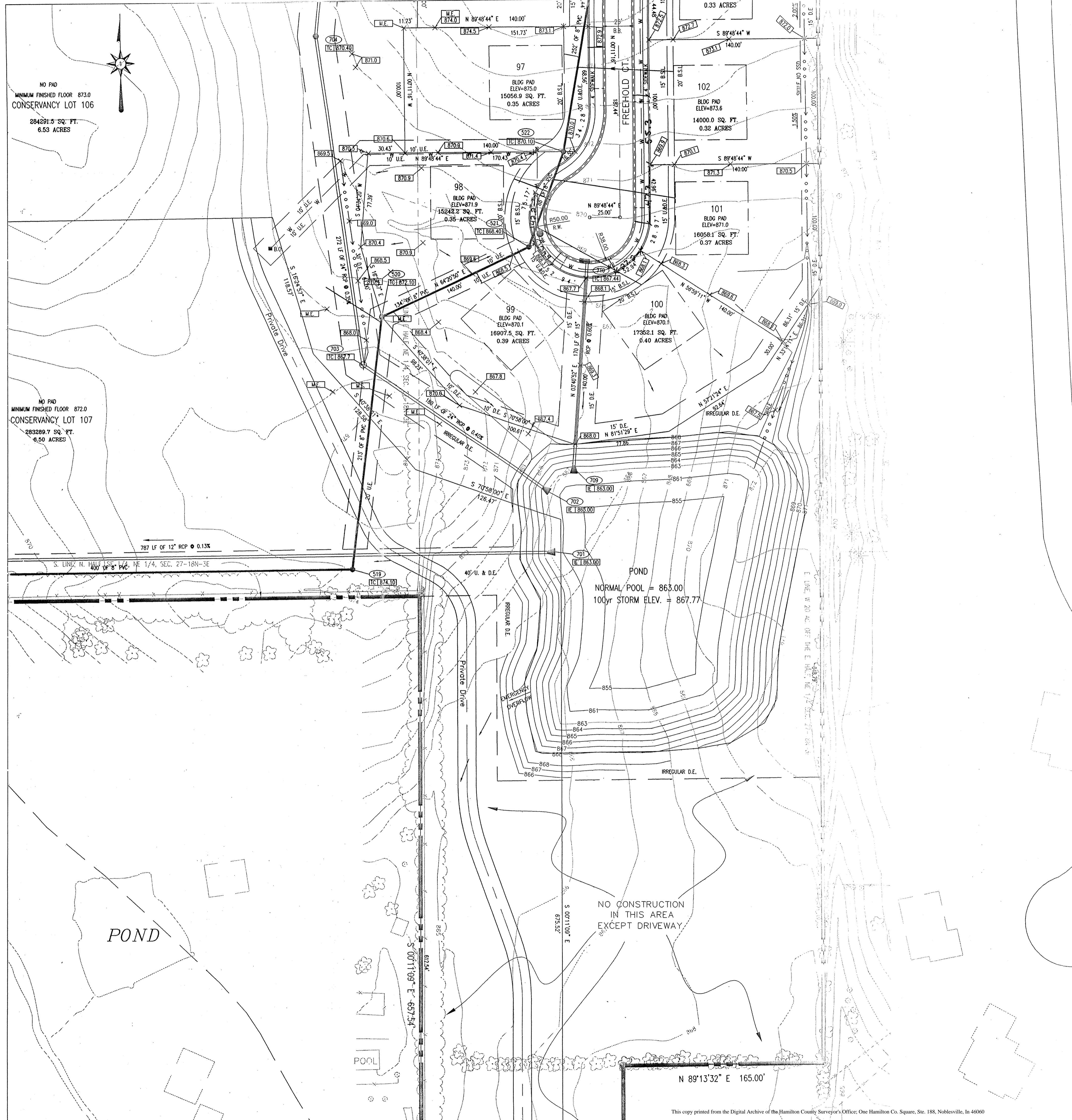
BRUCE HAGEN
REGISTERED PROFESSIONAL ENGINEER
No. 920299
STATE OF INDIANA

Checked By: **BRUCE HAGEN**

Scale: 1" = 40'

Date: 08-30-99

Project Number: 88052R-2100



UTILITY PLAN LEGEND
PROPOSED CONSTRUCTION

UTILITY PLAN LEGEND
EXISTING UTILITIES

UTILITY PLAN NOTES

- ALL GRADES AT DRIVEWAY SHALL MEET EXISTING GRADES.
- ALL TOPSOIL SHALL BE PLACED IN WOODED AREAS AND INDUSTRIAL FILL AREAS. UPON COMPLETION OF MASS EARTHWORK, TOPSOIL SHALL BE SPREAD TO A DEPTH OF FOUR TO SIX (4 TO 6) INCHES IN AREAS TO BE SEEDED SUCH AS LAKE SLOPES, MOUND AREAS, AREAS BETWEEN CURB AND CLEARING LIMITS, AND ALL DISTURBED AREAS OUTSIDE OF BUILDING AND PARKING AREAS.
- STRAW BALE DAMS, SEDIMENT PITS AND SILT FENCES SHALL BE UTILIZED TO CONTROL EROSION. SEE EROSION CONTROL PLAN FOR ADDITIONAL INFORMATION.
- EXISTING UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO MAJOR EARTHWORK, WITHIN THE PROPOSED CONSTRUCTION LIMITS.
- THE BASE FLOOD ELEVATION (BFE) FOR THIS PROJECT HAS BEEN DETERMINED TO BE 870.0 FEET.
- SEE STREET PLAN & PROFILE SHEET FOR ADDITIONAL GRADES ON STREET.
- THE INTENT OF THESE PLANS IS TO USE ALL EXCESS FILL MATERIAL ONSITE. BORROW PITS IN NONSTRUCTURAL FILL AREAS MAY BE UTILIZED TO OBTAIN SUITABLE FILL MATERIAL AND TO DISPOSE OF TOPSOIL.
- BUILDING PAD AREAS AND STREETS DESIGNATED FOR FILL SHALL BE CONSTRUCTED OF SUITABLE FILL MATERIAL AND COMPACTED PER SPECIFICATIONS. ALL FILL AREAS FOR BUILDING AREAS AND STREETS ARE TO BE STRIPPED OF TOPSOIL PRIOR TO PLACEMENT OF FILL.
- CONTRACTOR SHALL PRESERVE EXISTING TREES WHEREVER POSSIBLE. OWNER AND OWNER'S REPRESENTATIVE SHALL BE CONSULTED FOR CLEARING LIMITS. CLEARING LIMITS SHALL CONSIST OF ALL TREES WITHIN STREET AREAS, UTILITY INSTALLATION LIMITS AND CUT FILL AREAS.
- TOPOGRAPHIC AND PLANIMETRIC INFORMATION FROM PHOTOGRAPHIC COMPLETION BY OTHERS. ACCURACY HAS NOT BEEN TOTALLY CONFIRMED BY PAUL I. CRIFE, INC. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

UTILITY PLAN NOTES

- WATER LINES THROUGHOUT THE PROJECT SHALL BE INSTALLED WITH AT LEAST 48 INCHES OF COVER TO PROVIDE PROTECTION FROM FREEZING.
- LOCATIONS OF EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR IS TO FIELD VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS PRIOR TO CONSTRUCTION.
- PLASTIC WATER LINES ARE TO BEAR THE NSF SEAL OF APPROVAL AND MEET COMMERCIAL STANDARD NO. 256-3, PRODUCT STANDARD 22-70, OR ASTM D 2441.
- SEE SHEET C707 FOR STORM SEWER DETAILS.
- SEE SHEET C505 FOR SANITARY SEWER DETAILS.
- SEE SHEET C602 FOR ALL OTHER UTILITY DETAILS.
- WATER AND SEWER CROSSINGS AND SEPARATIONS SHALL BE IN ACCORDANCE WITH TEN STATE STANDARDS AND LOCAL CODES.

GRADING PLAN LEGEND
PROPOSED CONSTRUCTION

PROPOSED PAVEMENT SPOT GRADE
PROPOSED GROUND SPOT GRADE
MATCH EXISTING GRADE
PROPOSED TOP OF WALL GRADE
PROPOSED BOTTOM OF WALL GRADE
PROPOSED TOP OF CASTING
PROPOSED INVERT ELEVATION
PROPOSED 1 FL. CONTOUR
PROPOSED INDEX CONTOUR
PROPOSED SWALE
PROPOSED SWALE WITH SSD (SUB-SURFACE DRAIN)
PROPOSED DRAINAGE FLOW ARROW (DIRECTION)
PROPOSED DRAINAGE FLOW ARROW WITH GRADE
HIGH POINT
LOW POINT
PROPOSED MINIMUM PAD ELEVATION
BASE FLOOD ELEVATION

CURB / GUTTER / SIDEWALK
CURB WITH SUBSURFACE DRAIN (SSD)
CURB INLETS
STORM SEWER INLETS
STORM MANHOLE
END SECTION
STORM SEWER STRUCTURE NUMBER
STORM SEWER INVERT ELEVATION
TOP OF CASTING ELEVATION
SWALE WITH SUBSURFACE DRAIN (SSD)

OVERHEAD ELECTRIC
BURIED ELECTRIC
ELECTRIC MANHOLE
POWER POLE
GUY WIRE
TRANSFORMER
ELECTRIC PEDESTAL
GUY POLE
ELECTRIC METER
STREET LIGHT
STREET LIGHT
AREA LIGHT
FLOOD LIGHT

CURB / GUTTER / SIDEWALK
OVERHEAD CABLE TELEVISION
BURIED CABLE TELEVISION
GAS LINE
OVERHEAD TELEPHONE LINE
BURIED TELEPHONE LINE
CABLE RISER PEDESTAL
GAS VALVE
GAS METER

PROPOSED SWALE WITH SSD (SUB-SURFACE DRAIN)
SCALE: 1" = 10'

PROPOSED DRAINAGE FLOW ARROW WITH GRADE
SCALE: 1" = 10'

PROPOSED 1 FL. CONTOUR
SCALE: 1" = 10'

PROPOSED INDEX CONTOUR
SCALE: 1" = 10'

PROPOSED SWALE
SCALE: 1" = 10'

PROPOSED SWALE WITH SSD (SUB-SURFACE DRAIN)
SCALE: 1" = 10'

PROPOSED DRAINAGE FLOW ARROW (DIRECTION)
SCALE: 1" = 10'

PROPOSED DRAINAGE FLOW ARROW WITH GRADE
SCALE: 1" = 10'

PROPOSED MINIMUM PAD ELEVATION
BLDG PAD=801.5
BASE FLOOD ELEVATION B.F.E.=800.0

CAUTION
LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE INCLUDING, BUT NOT LIMITED TO, manholes, wells, valves, and marks made upon the ground by utility and "SEE SPECIFICALLY IN NATURE". THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES NOT SHOWN HEREIN AS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATION OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY MAJOR CONSTRUCTION.

DON'T DIG BLIND
1-800-882-6544
1-800-428-6200
FOR CALLS OUTSIDE OF INDIANA

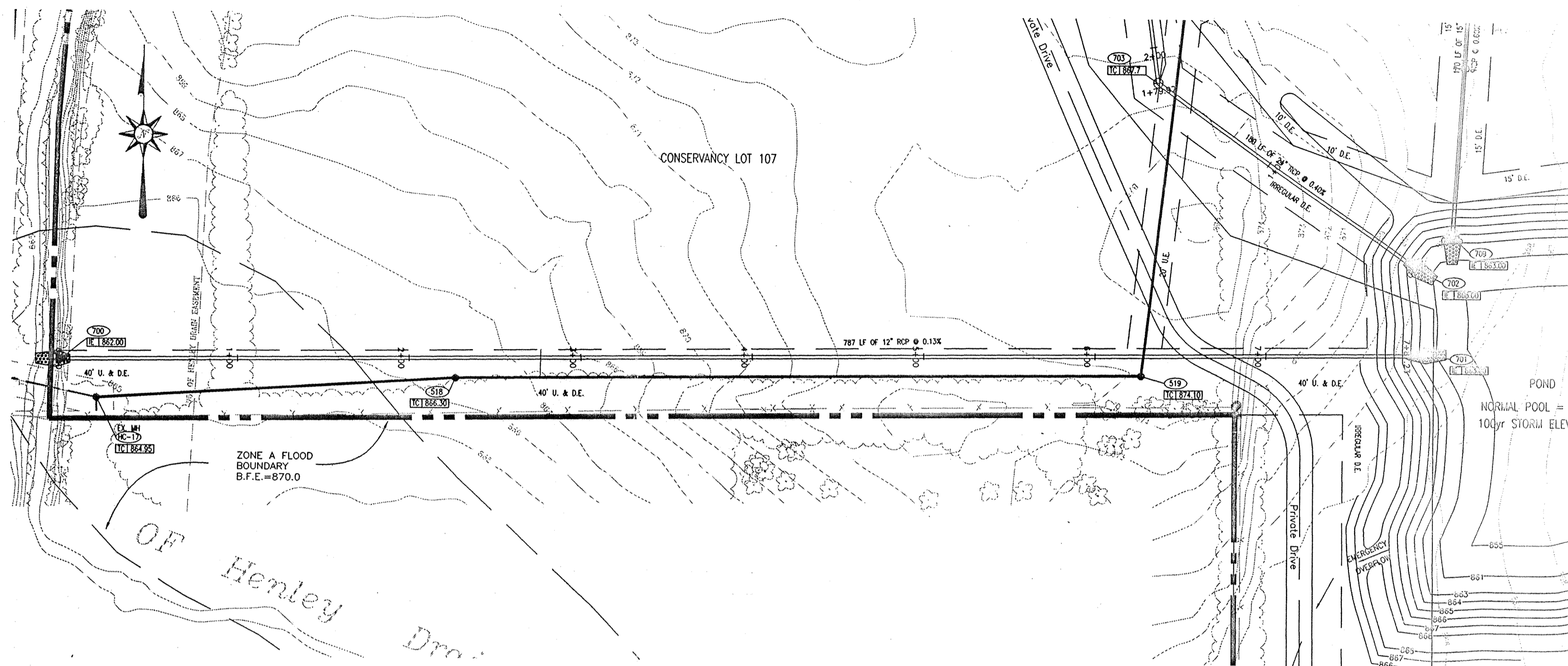
PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-6777
E-Mail: paul@pcrife.com

GRADING AND UTILITY PLAN
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554

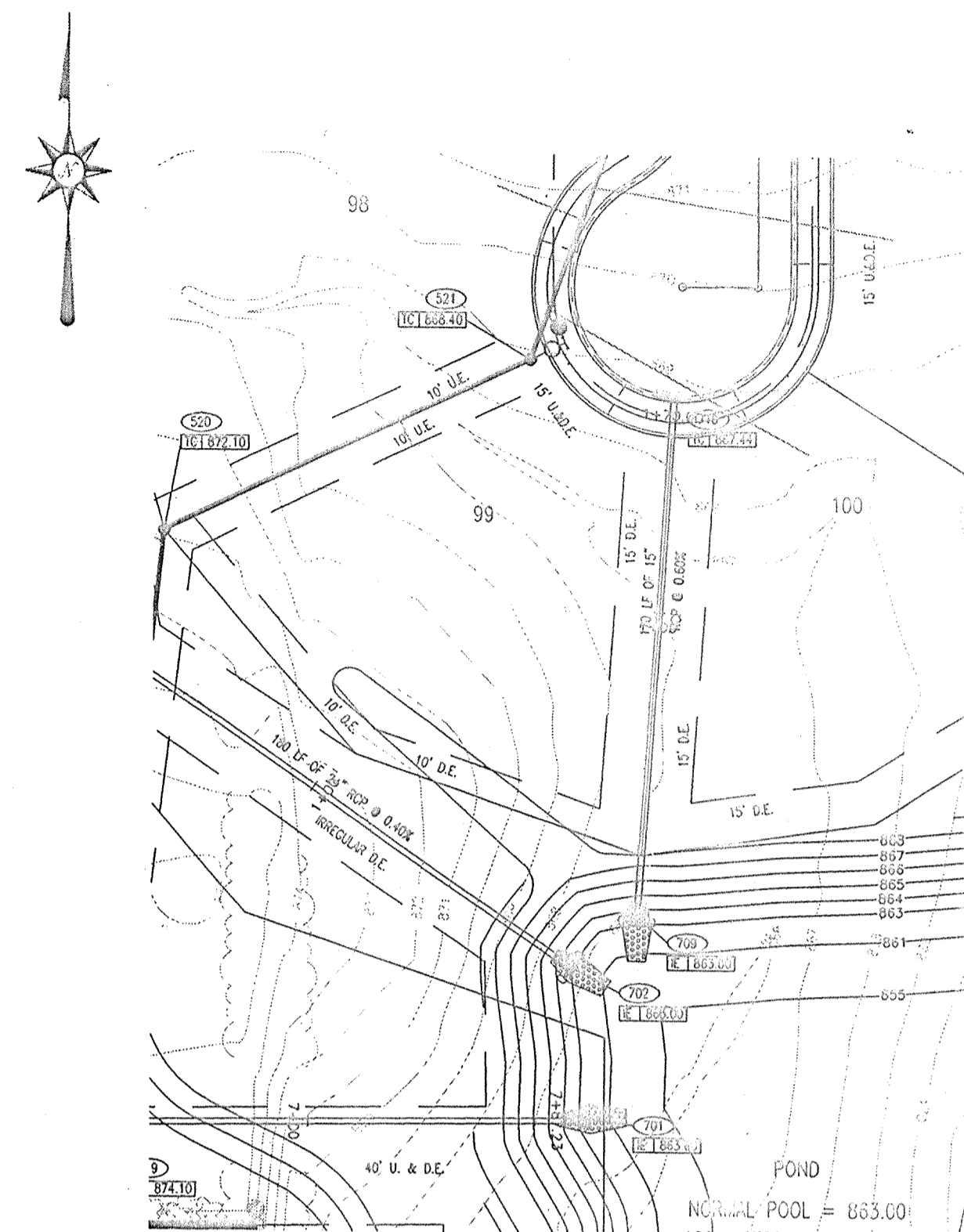
BRUCE HAGE
REGISTERED PROFESSIONAL ENGINEER
No. 920299
STATE OF INDIANA

C200
Date: 08-30-08
Project Number: 880528-2100

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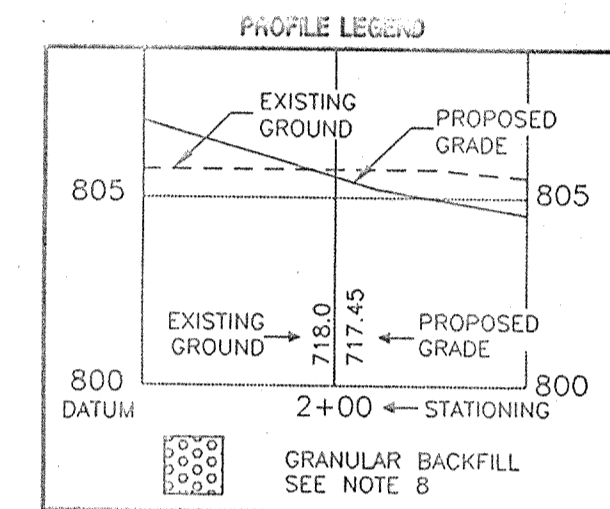


PLAN ONE
SCALE: 1" = 50'



PLAN TWO
SCALE: 1" = 50'

- STORM SEWER PLAN AND PROFILE NOTES:**
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
 - IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
 - ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS, STEPS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSH FINISHED.
 - ALL STRUCTURES (IE: MANHOLES, INLETS) SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND BRUSH FINISHED.
 - FIELD ADJUSTMENTS OF TOP OF CASTING (T.C.) OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS. ADJUSTMENTS EXCEEDING FIVE TENTHS (0.5) OF A FOOT MUST BE APPROVED BY THE ENGINEER TO DETERMINE THE INTEGRITY OF THE STRUCTURE. AT NO COST TO THE OWNER.
 - STORM STRUCTURES WITH INLET CASTINGS SHALL BE SET TO MAINTAIN A POSITIVE DRAINAGE FLOW INTO THE STRUCTURE.
 - STORM PIPE INVERTS AT OUTLET STRUCTURES (IE: END SECTIONS), AND PIPE LENGTHS MAY REQUIRE FIELD ADJUSTMENTS TO MEET ACTUAL FIELD CONDITIONS.
 - FILL DEPTH GRANULAR BACKFILL SHALL BE REQUIRED UNDER AND WITHIN (5) FEET OF ALL PAVED AREAS, INCLUDING CURBS, EDGE OF PAVEMENT, AND SIDEWALKS.
 - SEE SHEET C707 FOR STORM SEWERAGE SPECIFICATIONS.
 - PIPES LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE END SECTIONS.
 - BEARS CURB TO BE INSTALLED ON INLET PIPE STRUCTURES AND OUTFALL POND/STREAM STRUCTURES.



AS BUILT

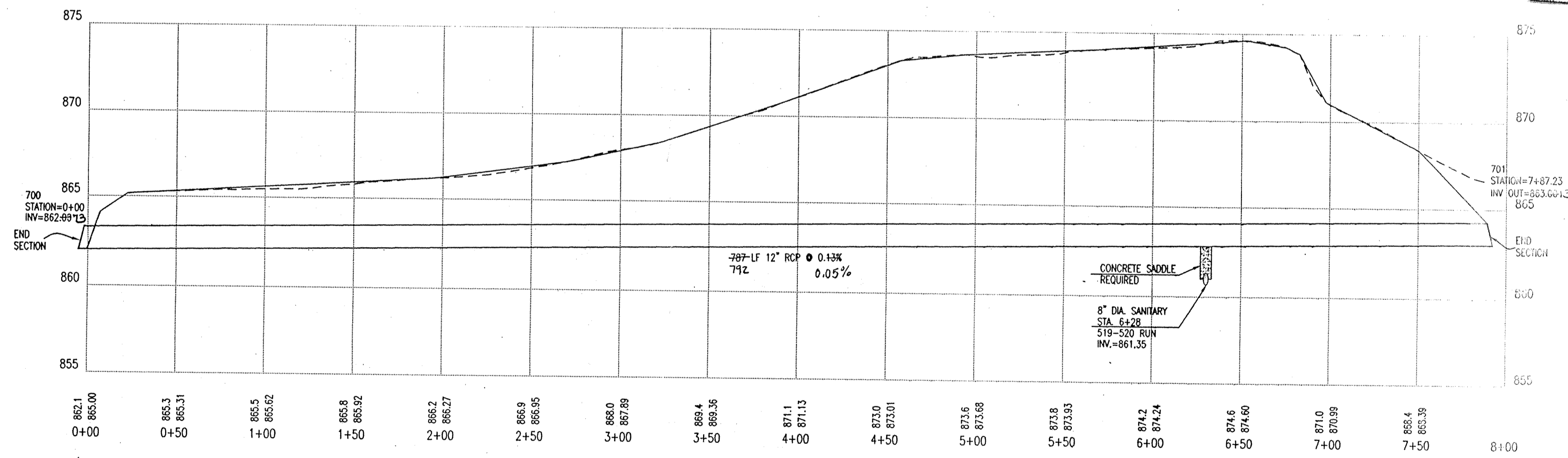
date 2/7/09
Ashbury Park Sec. 1
Spring Farms Sec. 3

HAMILTON COUNTY INDIANA

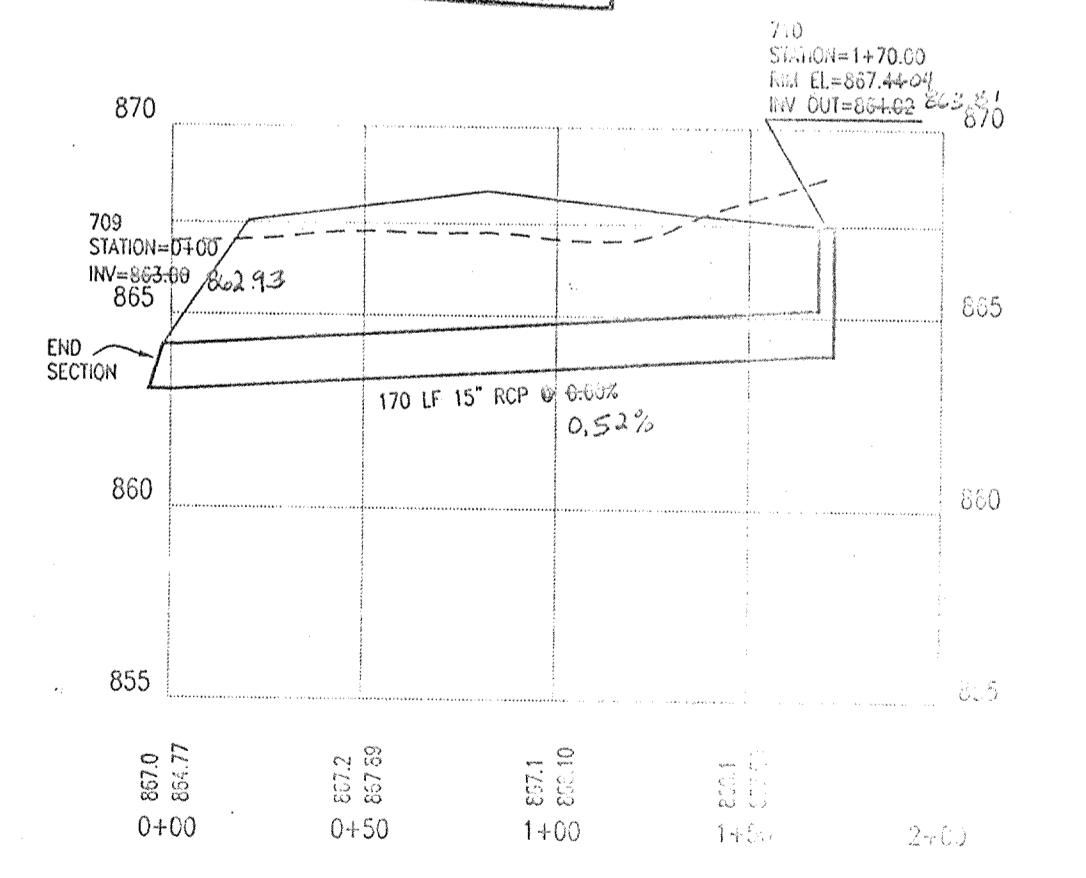
This information was gathered for input into the Hamilton County Geographical Information System. This information is considered an official record of the GIS.

Entry Date: 5-21-04

Entered by: JOH



PROFILE ONE
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VER. SCALE: 1" = 5'

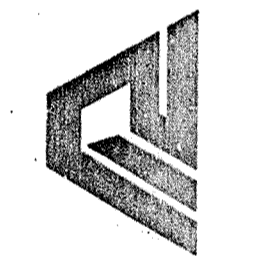


PROFILE TWO
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VER. SCALE: 1" = 5'

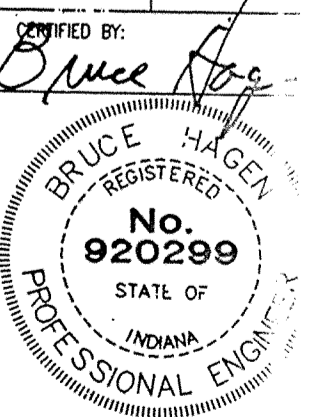
Revision	Mark	Description
1	A	ASBURY PARK SEC. 1 & 3
2	B	ASBURY PARK SEC. 3
3	C	ASBURY PARK SEC. 3

- ARCHITECTS
- ENGINEERS
- LANDSCAPE ARCHITECTS
- ENVIRONMENTAL CONSULTANTS
- PLANNERS
- LAND SURVEYORS

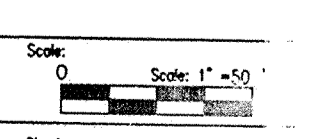
PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-6777 FAX (317) 841-4798
E-Mail: picrife@pcrife.com



STORM SEWER PLAN AND PROFILE
ASHBURY PARK 1 - 3 and SPRING FARMS 3
ASHBURY PARK, LLC
P.O. BOX 554
COLUMBIANA, IN 46002

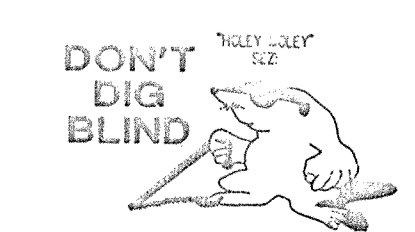


Drawn by: _____
Checked by: **BRUCE HAGEN**
Quality Assurance: _____



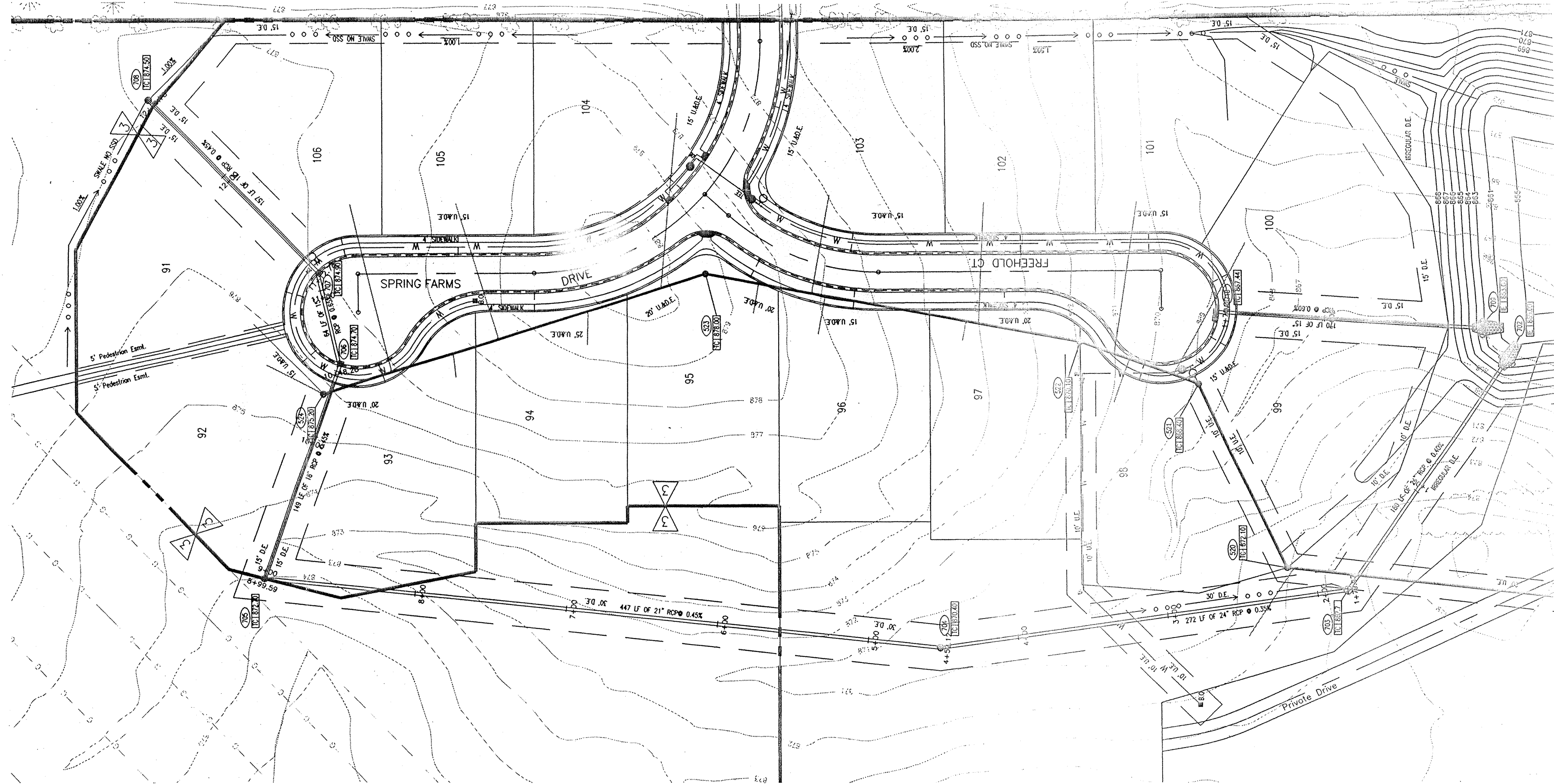
Sheet **C701**

Date **09-30-08**
Project Number _____



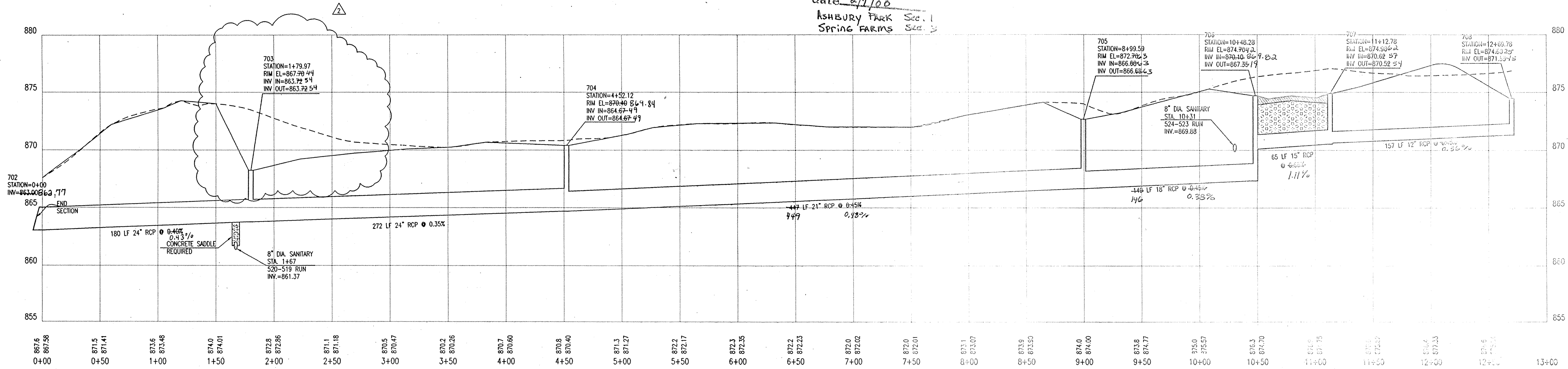
1-800-302-5544
1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA

CAUTION
LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE DETERMINED BY THE CONTRACTOR PRIOR TO ANY FINAL CONSTRUCTION.



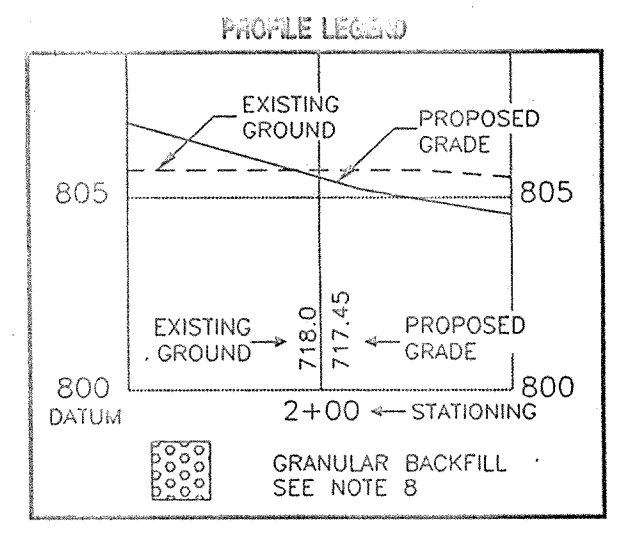
PLAN THREE
SCALE: 1" = 50'

AS BUILT
date 2/4/00
ASHBURY PARK Sec. 1
SPRING FARMS Sec. 3



PROFILE THREE
HOR. SCALE: 1" = 50'
VER. SCALE: 1" = 5'

- STORM SEWER PLAN AND PROFILE NOTES:**
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
 - IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
 - ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS, STEPS AND PIPE CONNECTIONS WELL GROUTED, TROWELED SMOOTH AND BRUSH FINISHED.
 - ALL STRUCTURES (IE: MANHOLES, INLETS) SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCHWALLS SHALL BE TROWELED SMOOTH AND BRUSH FINISHED.
 - FIELD ADJUSTMENTS OF TOP OF CASTING (T.C.) OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS. ADJUSTMENTS EXCEEDING FIVE TENTHS (0.5) OF A FOOT MUST BE APPROVED BY THE ENGINEER TO DETERMINE THE INTEGRITY OF THE STRUCTURE. AT NO COST TO THE OWNER.
 - STORM STRUCTURES WITH INLET CASTINGS SHALL BE SET TO MAINTAIN A POSITIVE DRAINAGE FLOW INTO THE STRUCTURE.
 - STORM PIPE INVERTS AT OUTLET STRUCTURES (IE: END SECTIONS), AND PIPE LENGTHS MAY REQUIRE FIELD ADJUSTMENTS TO MEET ACTUAL FIELD CONDITIONS.
 - FULL DEPTH GRANULAR BACKFILL SHALL BE REQUIRED UNDER AND WITHIN (5) FEET OF ALL PAVED AREAS, INCLUDING CURBS, EDGE OF PAVEMENT, AND SIDEWALKS.
 - SEE SHEET C707 FOR STORM SEWER SPECIFICATIONS.
 - PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE END SECTIONS.
 - DEBRIS GUARDS TO BE INSTALLED ON INLET PIPE STRUCTURES AND OUTFALL POND/STREAM STRUCTURES.



PAUL I. CRIFE, INC.
7172 GRAHAM ROAD
INDIANAPOLIS, INDIANA 46250
(317) 842-6777 FAX (317) 841-4798

ASHBURY PARK, LLC

STORM SEWER PLAN AND PROFILE
ASHBURY PARK 1 - 3 and SPRING FARMS 3

CREATED BY: *Bruce Hagg*
CHECKED BY: *Bruce Hagg*
DATE: 09-30-99

Scale: 0 10 20 30 40 50 Feet
Sheet: C70
Date: 09-30-99
Project Number: 980528-2010

ARCHITECTS
ENGINEERS
LANDSCAPE ARCHITECTS
TRANSPORTATION ENGINEERS
PLANNERS
LAND SURVEYORS

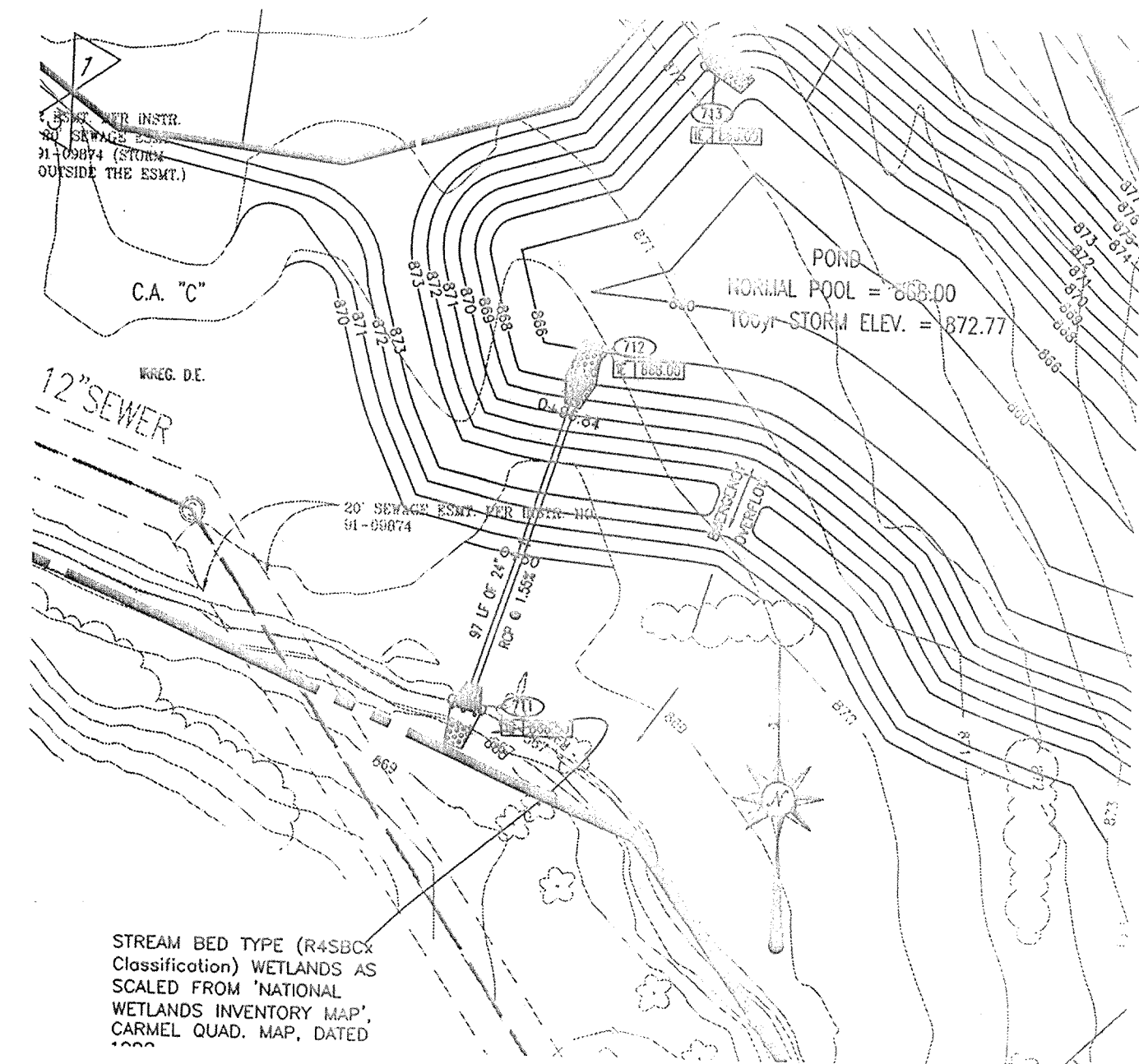
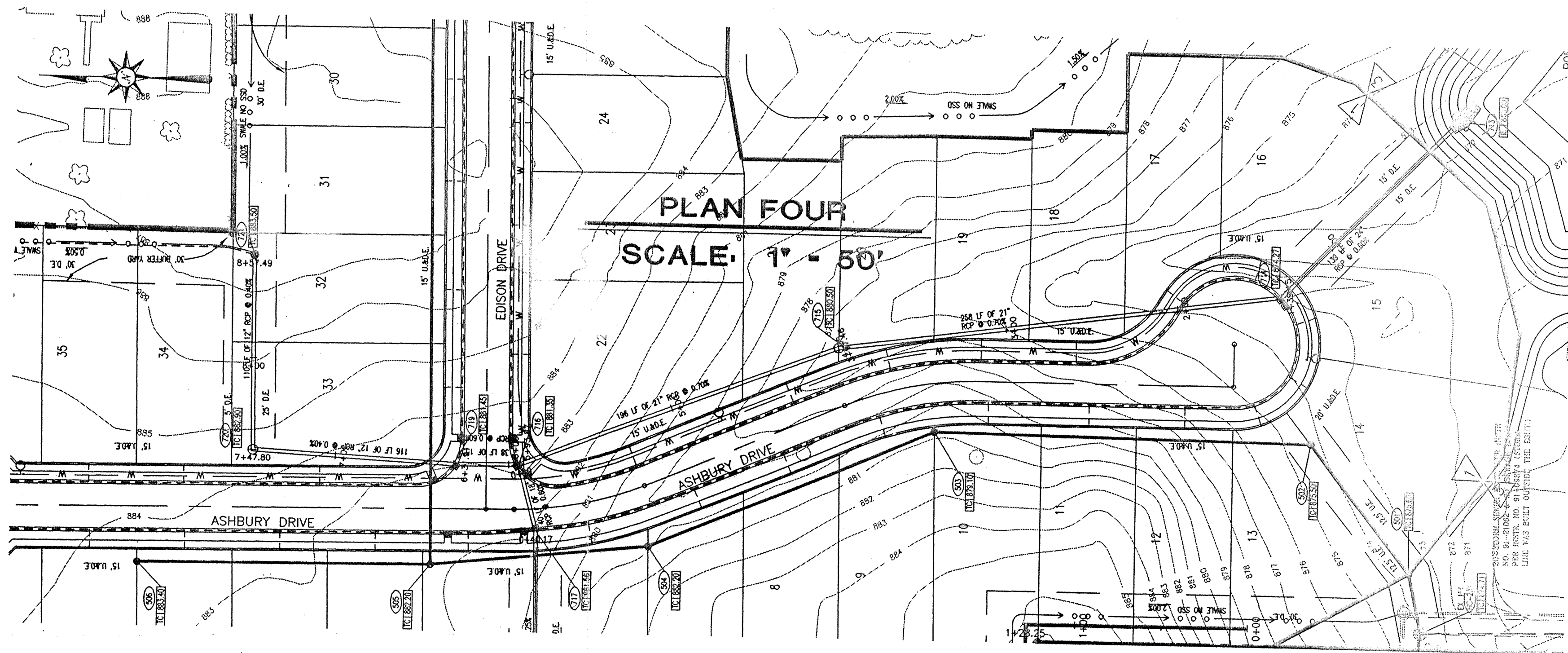
THIS INFORMATION WAS GATHERED FOR INPUT INTO THE HAMILTON COUNTY GEOGRAPHICAL INFORMATION SYSTEM. THIS DOCUMENT IS CONSIDERED AN OFFICIAL RECORD OF THE GIS.

Entry Date: 5-21-04
Entered by: JAH

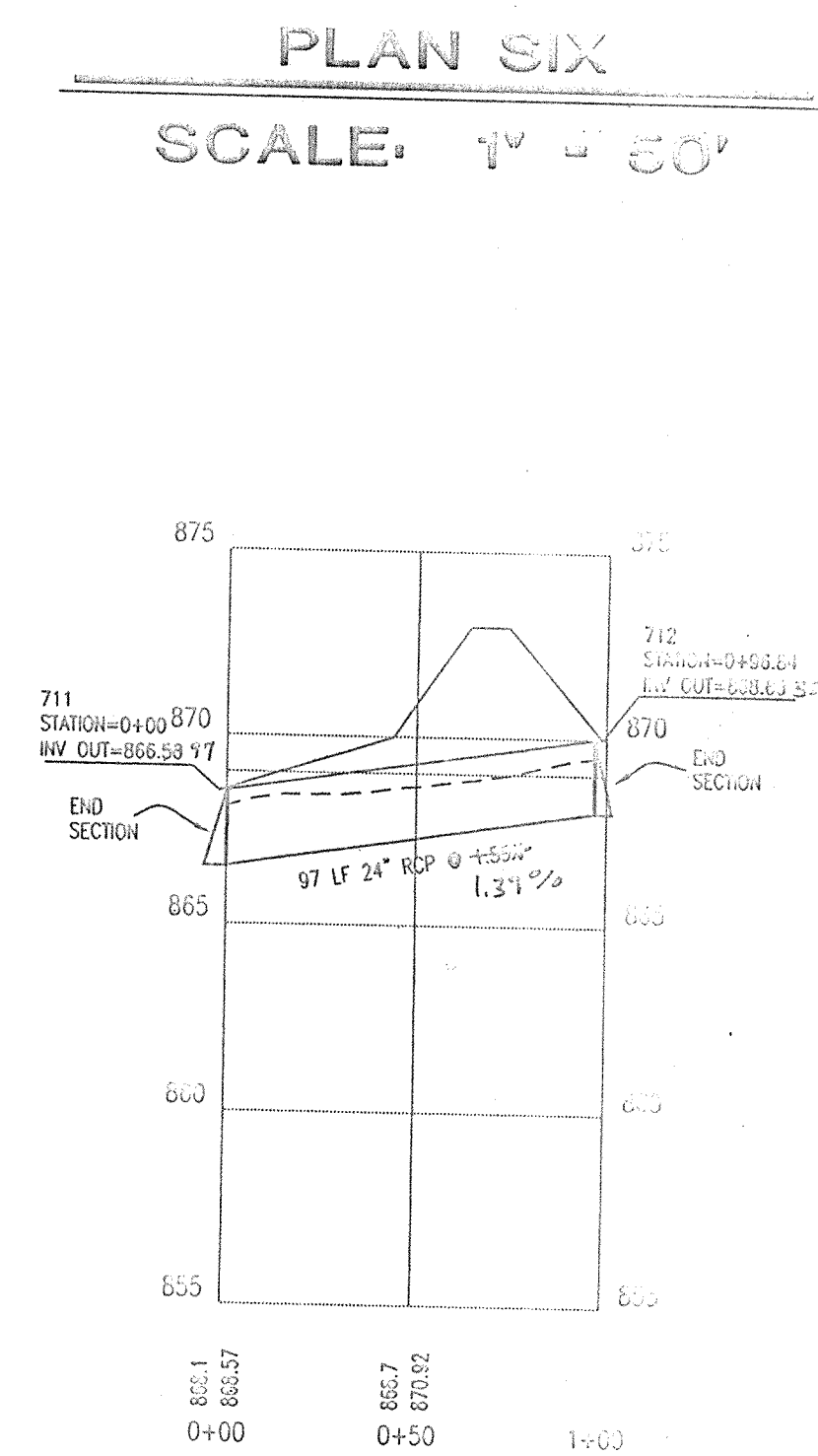
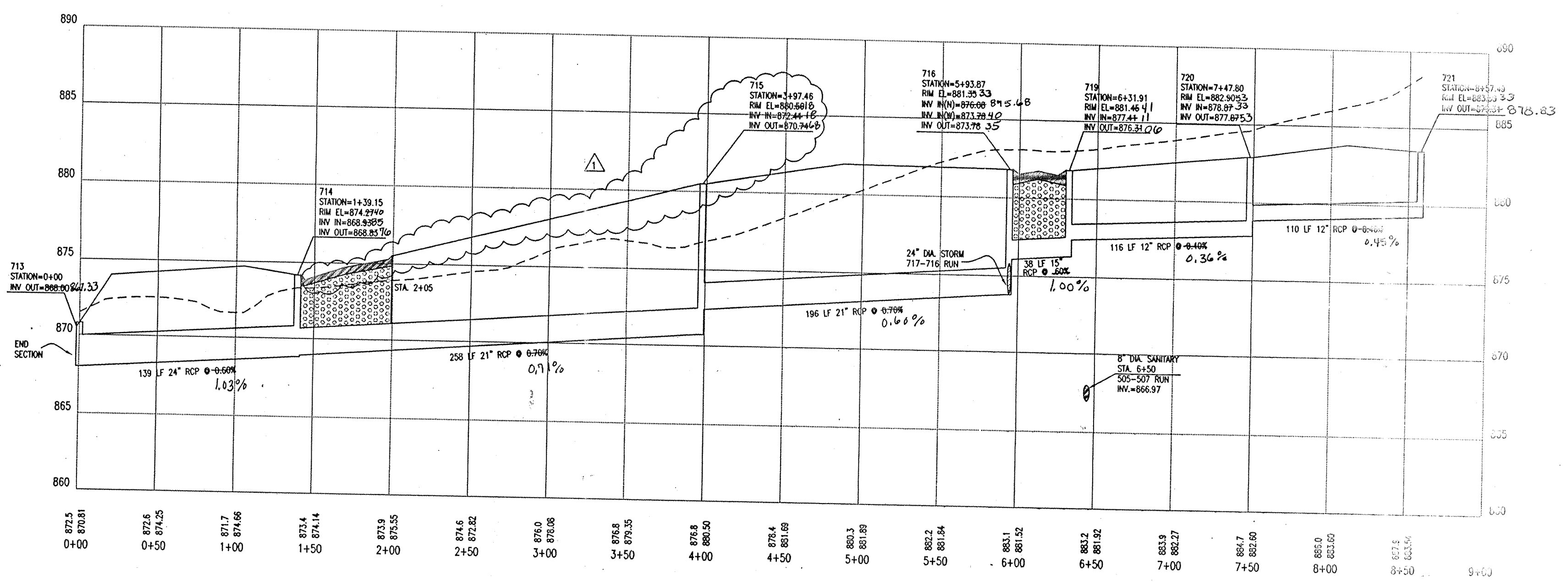
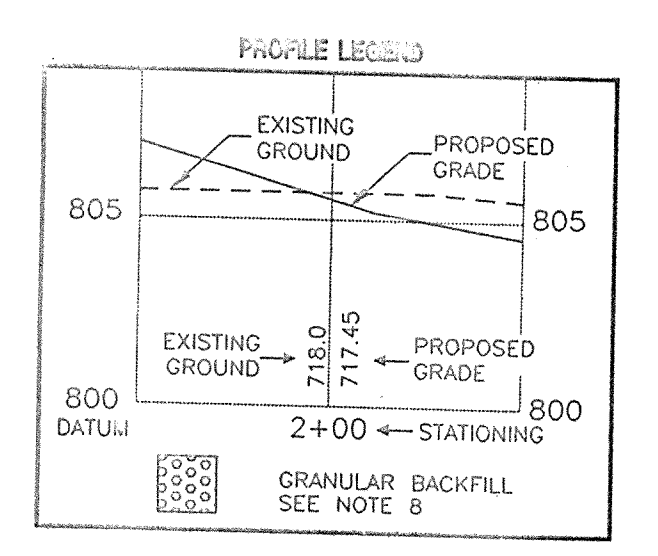
DON'T DIG BLIND

1-800-832-6544
CALL TOLL FREE
1-800-428-5200
FOR CALLS OUTSIDE OF INDIANA

CAUTION: LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, utility vaults, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SUCH EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.



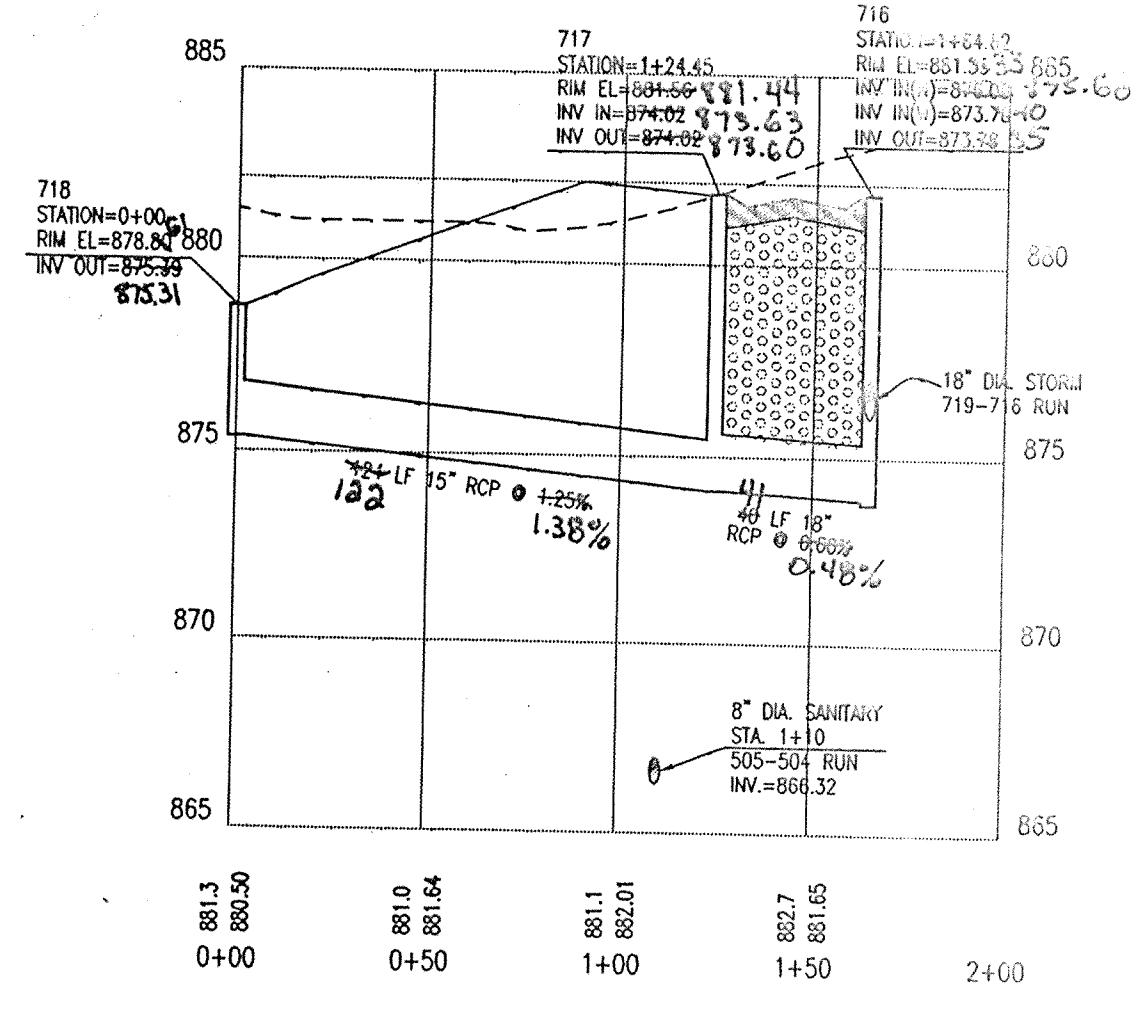
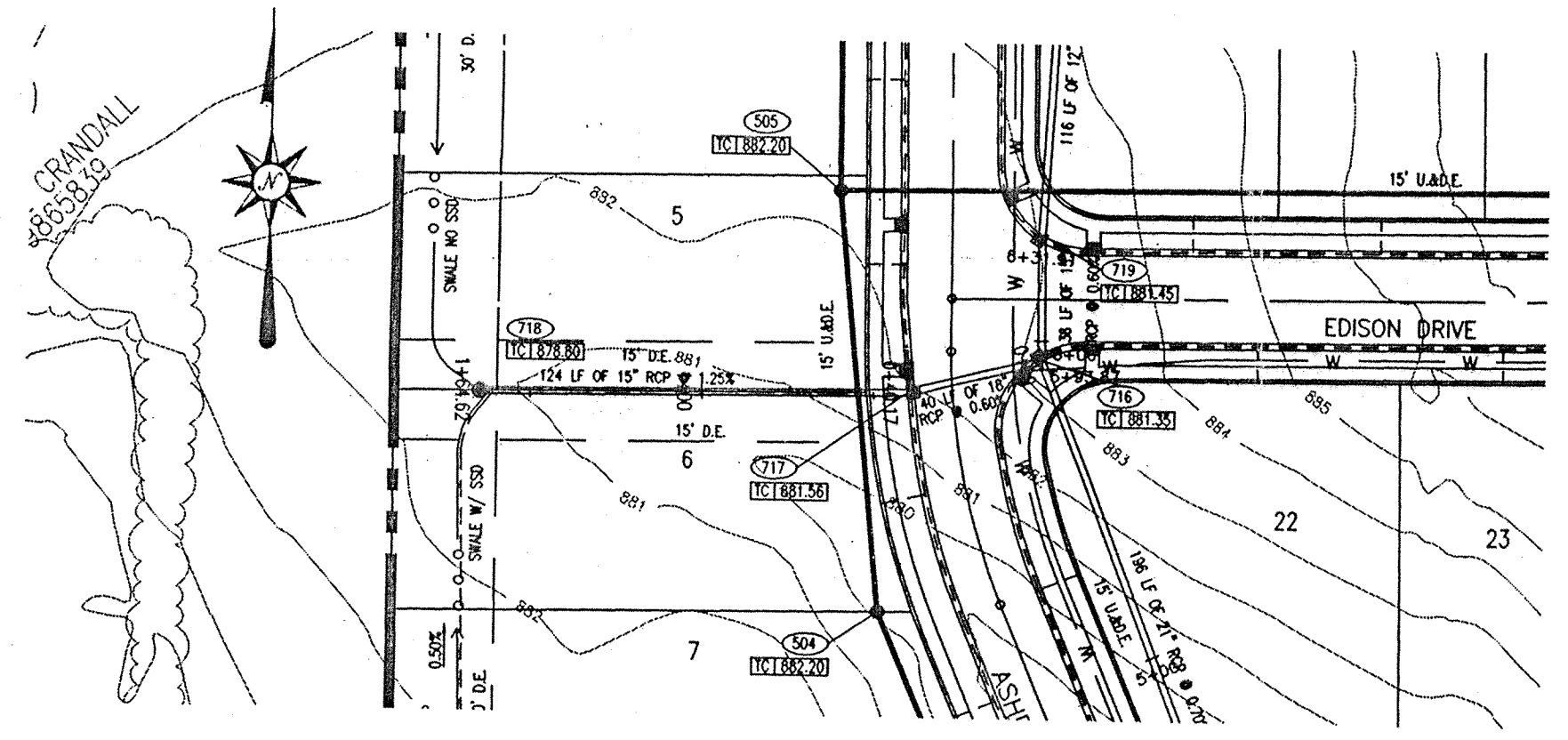
- STORM SEWER PLAN AND PROFILE NOTES:**
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
 - IN ADDITION, EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
 - ALL STRUCTURES SHALL HAVE CASTINGS, JOINTS, LIFT RINGS, STEPS AND PIPE CONNECTIONS WELL GROUDED, TROWELED SMOOTH AND BRUSH FINISHED.
 - ALL STRUCTURES (E.G. MANHOLES, INLETS) SHALL HAVE POURED FLOW LINES AND BENCH WALLS. THE FLOW LINES AND BENCH WALLS SHALL BE TROWELED SMOOTH AND BRUSH FINISHED.
 - FIELD ADJUSTMENTS OF TOP OF CASTING (T.C.) OF STRUCTURES MAY BE REQUIRED TO MEET FIELD CONDITIONS. ADJUSTMENTS EXCEEDING FIVE TENTHS (0.5) OF A FOOT MUST BE AT NO COST TO THE OWNER.
 - STORM STRUCTURES WITH INLET CASTINGS SHALL BE SET TO MAINTAIN A POSITIVE DRAINAGE FLOW INTO THE STRUCTURE.
 - STORM PIPE INVERTS AT OUTLET STRUCTURES (E.G. END SECTIONS), AND PIPE LENGTHS MAY REQUIRE FIELD ADJUSTMENTS TO MEET ACTUAL FIELD CONDITIONS.
 - FULL DEPTH GRANULAR BACKFILL SHALL BE REQUIRED UNDER AND WITHIN (5) FEET OF ALL PAVED AREAS, INCLUDING CURBS, EDGE OF PAVEMENT, AND SIDEWALKS.
 - SEE SHEET C707 FOR STORM SEWERAGE SPECIFICATIONS.
 - PIPES LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE END SECTIONS.
 - DEBRIS GUARD TO BE INSTALLED ON INLET PIPE STRUCTURES AND OUTFALL POND/STREAM STRUCTURES.



AS BUILT
 Date: 7/7/00
 Ashbury Park Sec 1
 Spring Farms Sec 3

PROFILE FOUR
 HOR. SCALE: 1" = 50'
 VER. SCALE: 1" = 5'

PROFILE SIX
 HOR. SCALE: 1" = 50'
 VER. SCALE: 1" = 5'



PROFILE FIVE
 HOR. SCALE: 1" = 50'
 VER. SCALE: 1" = 5'

This information was gathered for input into the Hamilton County Geographical Information System. This document is considered an official record of the GIS.

Entry Date: 5-21-04

Entered by: JDH

PLAN FIVE
 SCALE: 1" = 50'

DON'T DIG BLIND

LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOULD BE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, PIPES, TRENCHES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECIALLY MARKED IN BLUE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

1-800-982-6644
 1-800-426-6200
 FOR CALLS OUTSIDE OF INDIANA

PAUL I. CRIFE, INC.
 7172 GRAHAM ROAD
 INDIANAPOLIS, INDIANA 46250
 (317) 842-6777 FAX (317) 841-4798
 E-Mail: paul@paulcrife.com

ASHBURY PARK, LLC
 P.O. BOX 564
 46032

STORM SEWER PLAN AND PROFILE

CHECKED BY: Bruce Hagen
 REGISTERED PROFESSIONAL ENGINEER
 No. 920299
 STATE OF INDIANA

Drawn by: _____
 Checked by: **BRUCE HAGEN**
 Quality Assurance: _____

Scale: 1" = 50'
 Date: **07-23-09**

C703



Kenton C. Ward, CEM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

Map Correction-Field Verification

Drain Number: #328

Drain Length: 8224

Drain Name: Ashbury Park: section 2

Change +/-: - 267.5

Date: 6-13-07

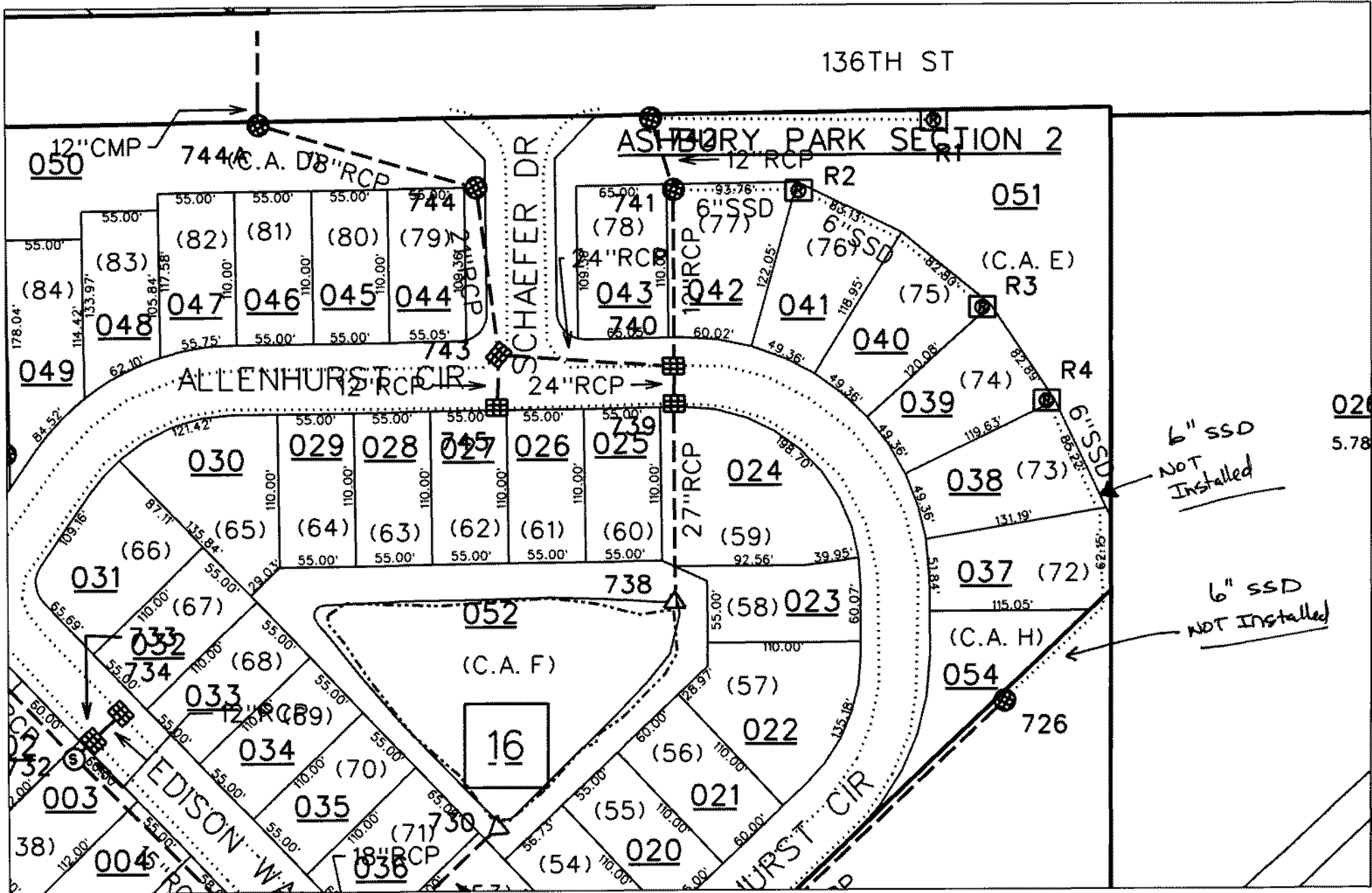
New Length: 7956.3

Verified By: SAB on 4-27-07

Notes & Sketch:

SSD in the rear of lots 72 & 73: C.A. "H" was not installed. See attached map.

Suzanne L. Mills
GIS Specialist



sub_rg_drn.dgn 6/13/2007 1:53:49 PM